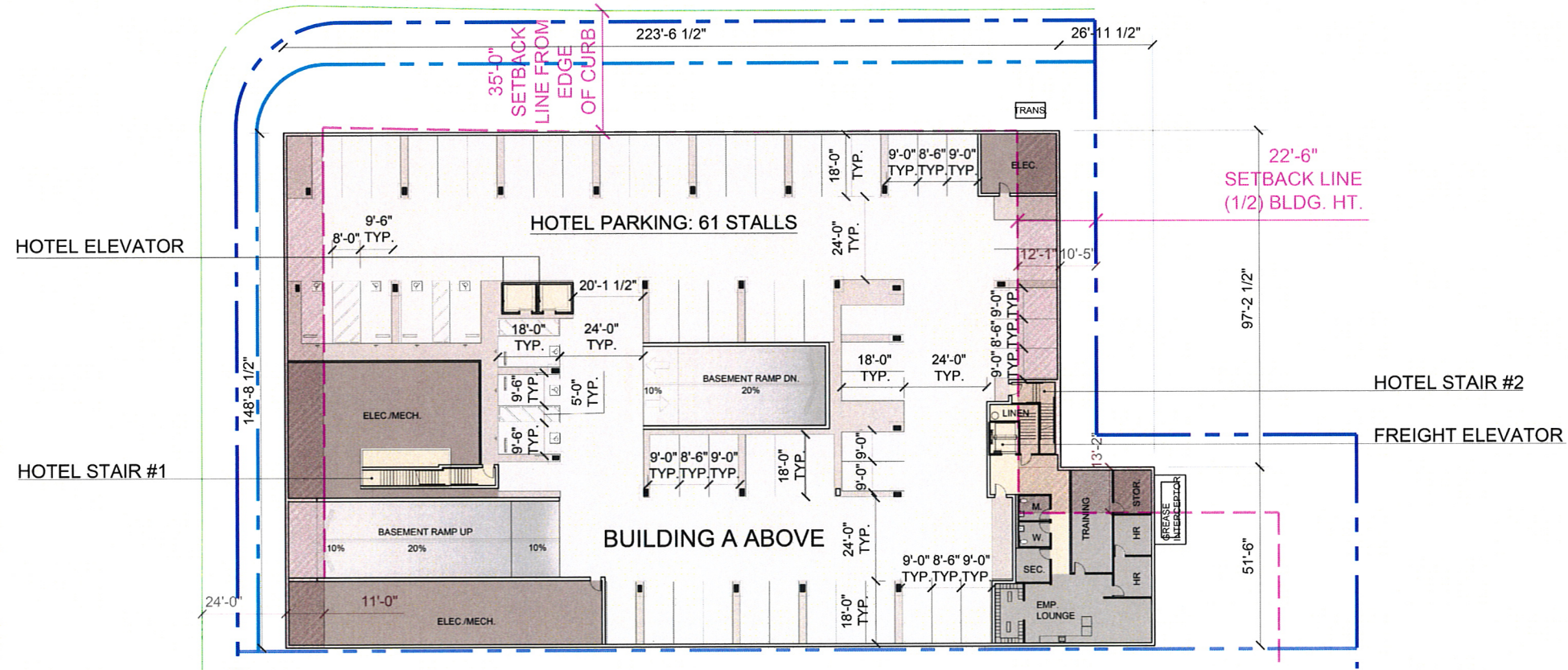


BUILDING AREA (SQ. FT)		
BUILDING TYPE	BUILDING AREA (SQ.FT.)	UNITS
BLDG A (HOTEL)		
Basement garage 1	34867	SQ.FT.
Basement garage 2	34632	SQ.FT.

PARKING SUMMARY			
REQUIRED HOTEL PARKING	UNITS	EMPLOYEES	TOTAL SPACES
BLDG. A (HOTEL) - 1/unit + 1/employee	122	13 employees	135
TOTAL REQUIRED HOTEL PARKING			135

PROPOSED HOTEL PARKING	SELF-PARKING STANDARD STALL	SELF-PARKING ACCESSIBLE STALL (5%)	TOTAL
BLDG. A (HOTEL) - BASEMENT LEVEL 1	54	7	61
BLDG. A (HOTEL) - BASEMENT LEVEL 2	74		74
TOTAL PROVIDED HOTEL PARKING			135



BASEMENT PLAN LEGEND

- BACK OF STREET CURB
- EXISTING PROPERTY LINE
- - - PROPOSED PROPERTY LINE
- - - NEW PROPERTY LINE AFTER STREET DEDICATION
- - - 35' SETBACK FROM EDGE OF CURB AND 22'-6" SETBACK LINE (1/2) BUILDING HEIGHT
- PROPOSED UNDERGROUND BASEMENT WALL ENCROACHED INTO SETBACK LINE.

KEY LEGEND

- PARKING
- HOTEL OPERATIONS
- UTILITY / STORAGE
- CIRCULATION

MARINA PLAZA

10145 DE ANZA BLVD. AND 10122 BANDLEY DR. CUPERTINO, CALIFORNIA
De Anza Venture, LLC

**BUILDING A
BASEMENT LEVEL 1**
SCALE: 1/16" = 1'-0"

JOB NO. 1250.001
DATE 04-21-16



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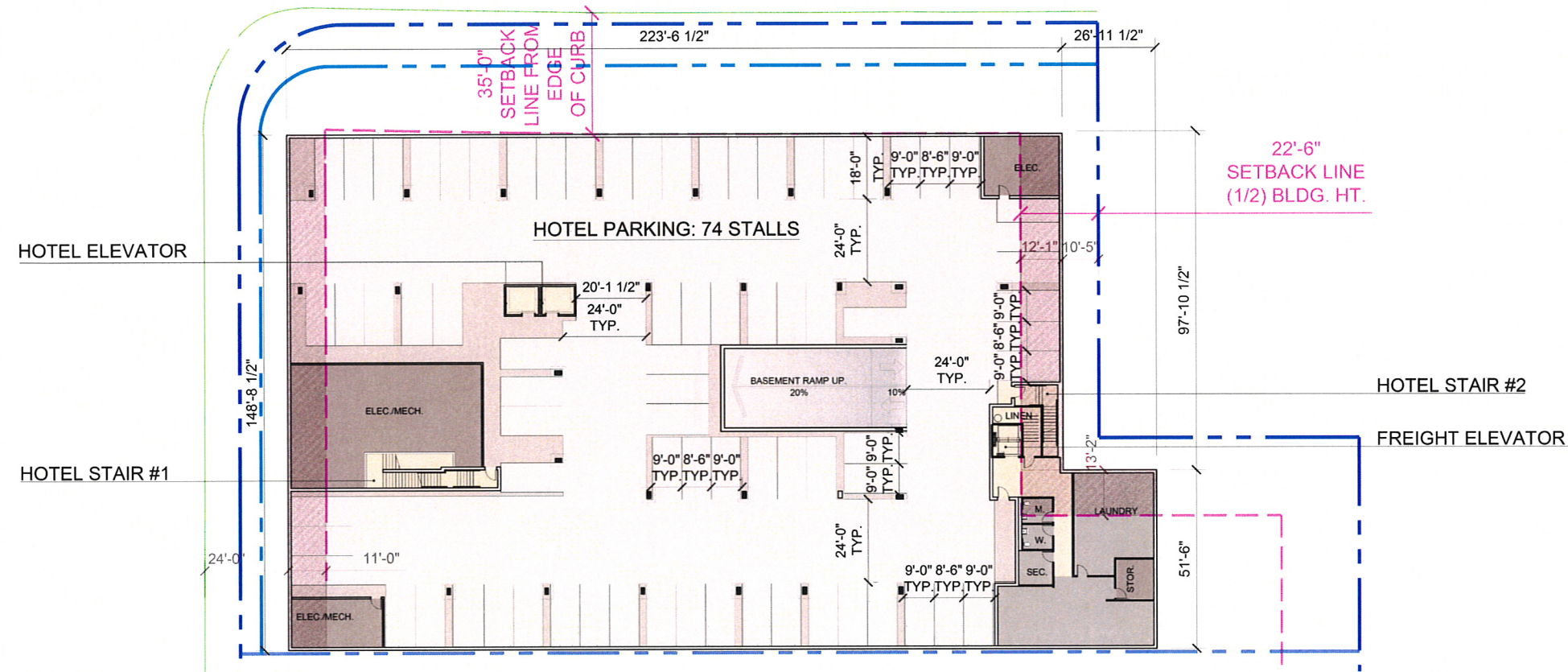


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BUILDING AREA (SQ. FT)		
BUILDING TYPE	BUILDING AREA (SQ.FT.)	UNITS
BLDG A (HOTEL)		
Basement garage 1	34867	SQ.FT.
Basement garage 2	34632	SQ.FT.

PARKING SUMMARY			
REQUIRED HOTEL PARKING	UNITS	EMPLOYEES	TOTAL SPACES
BLDG. A (HOTEL) - 1/unit + 1/employee	122	13 employees	135
TOTAL REQUIRED HOTEL PARKING			135

PROPOSED HOTEL PARKING	SELF-PARKING STANDARD STALL	SELF-PARKING ACCESSIBLE STALL (5%)	TOTAL
BLDG. A (HOTEL) - BASEMENT LEVEL 1	54	7	61
BLDG. A (HOTEL) - BASEMENT LEVEL 2	74		74
TOTAL PROVIDED HOTEL PARKING			135



BASEMENT PLAN LEGEND

- BACK OF STREET CURB
- - - EXISTING PROPERTY LINE
- - - PROPOSED PROPERTY LINE
- - - NEW PROPERTY LINE AFTER STREET DEDICATION
- - - 35' SETBACK FROM EDGE OF CURB AND 22'-6" SETBACK LINE (1/2) BUILDING HEIGHT
- PROPOSED UNDERGROUND BASEMENT WALL ENCROACHED INTO SETBACK LINE

KEY LEGEND

- PARKING
- HOTEL OPERATIONS
- UTILITY / STORAGE
- CIRCULATION

BUILDING A
BASEMENT LEVEL 2
SCALE: 1/16" = 1'-0"



JOB NO. 1250.001
DATE 04-21-16

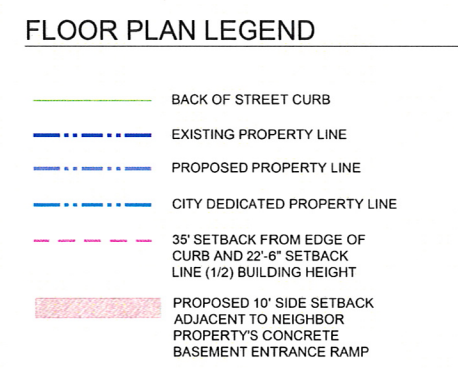
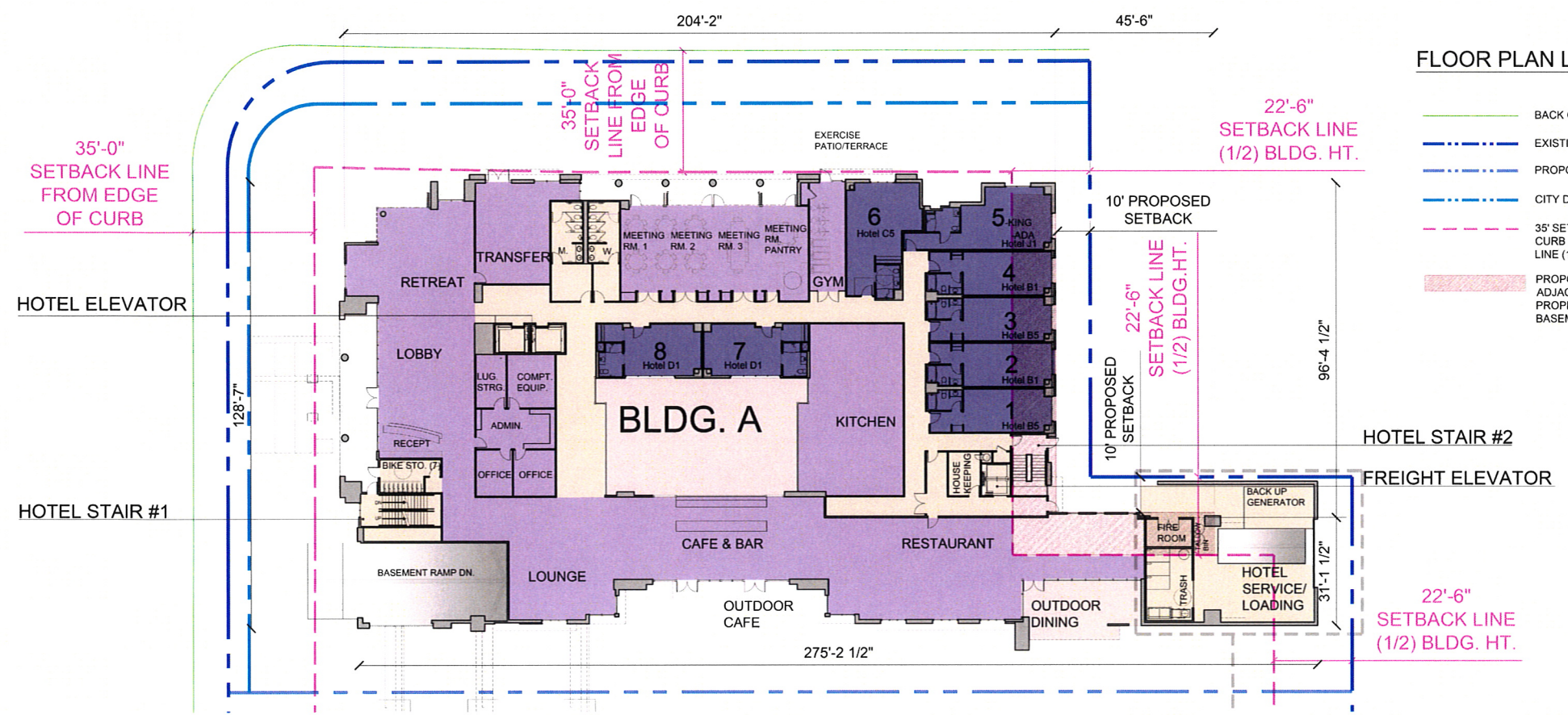
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A.21

MARINA PLAZA

10145 DE ANZA BLVD. AND 10122 BANDLEY DR. CUPERTINO, CALIFORNIA
De Anza Venture, LLC

HOTEL UNIT PER FLOOR				
BLDG. A (HOTEL) - GROUND LEVEL				
	Bed/BA	SQ.FT.	# OF UNITS	TOTAL SQ.FT.
1 BED	HOTEL ROOM J1	653	1	653
2 BED	HOTEL ROOM C5	645	1	645
2 BED	HOTEL ROOM B1	478	2	956
2 BED	HOTEL ROOM B5	478	2	956
2 BED	HOTEL ROOM D1	481	2	962
Total:			8	4172

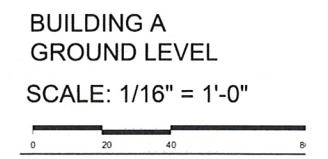
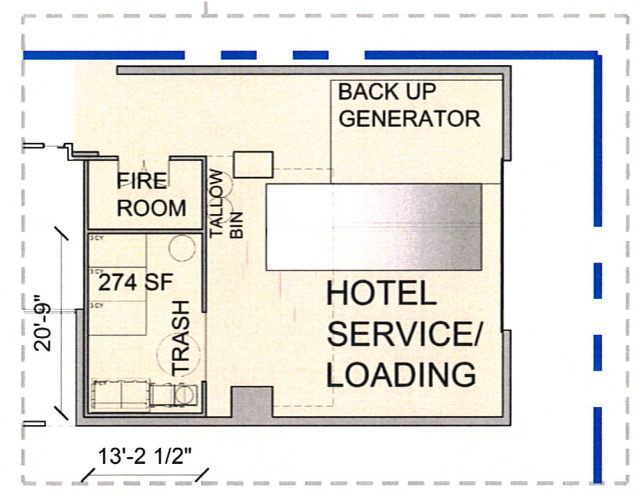


PROPOSED USES				
BUILDING TYPE	AMENITY TYPE	NUMBER OF USERS	SQ.FT.	HOURS OF OPERATIONS
BLDG A (HOTEL)	Lobby	Hotel Guest		
	Hotel Rooms	122 Hotel Guest	Avg. 380	
	Hotel Meeting Rooms	Hotel Guest	1655	8 a.m. to 11 p.m.
	Hotel Fitness	Hotel Guest	1040	8 a.m. to 11 p.m.
	Hotel Lounge	Hotel Guest	806	24 HOURS
	Hotel Café and Bar	Hotel Guest	1361	8 a.m. to 11 p.m.
	Hotel Restaurant	Hotel Guest	4600	8 a.m. to 11 p.m.
	Hotel Swimming Pool	Hotel Guest	2911	8 a.m. to 11 p.m.

NUMBER OF EMPLOYEES PROJECTED	
BUILDING TYPE	EMPLOYEE PROJECTION
BLDG A (HOTEL)	13

BICYCLE PARKING SUMMARY			
REQUIRED HOTEL BICYCLE PARKING			
BLDG. A (HOTEL) - 5% OF AUTO PARKING (CLASS II)	UNITS	FACTOR	TOTAL SPACES
	135	0.05	7
TOTAL REQUIRED HOTEL BICYCLE PARKING (CLASS II)			7
PROPOSED HOTEL BICYCLE PARKING			
BLDG. A (HOTEL) - STREET LEVEL (CLASS II - PROVIDED)	UNITS		
	7		
TOTAL REQUIRED HOTEL BICYCLE PARKING (CLASS II - PROVIDED)			7

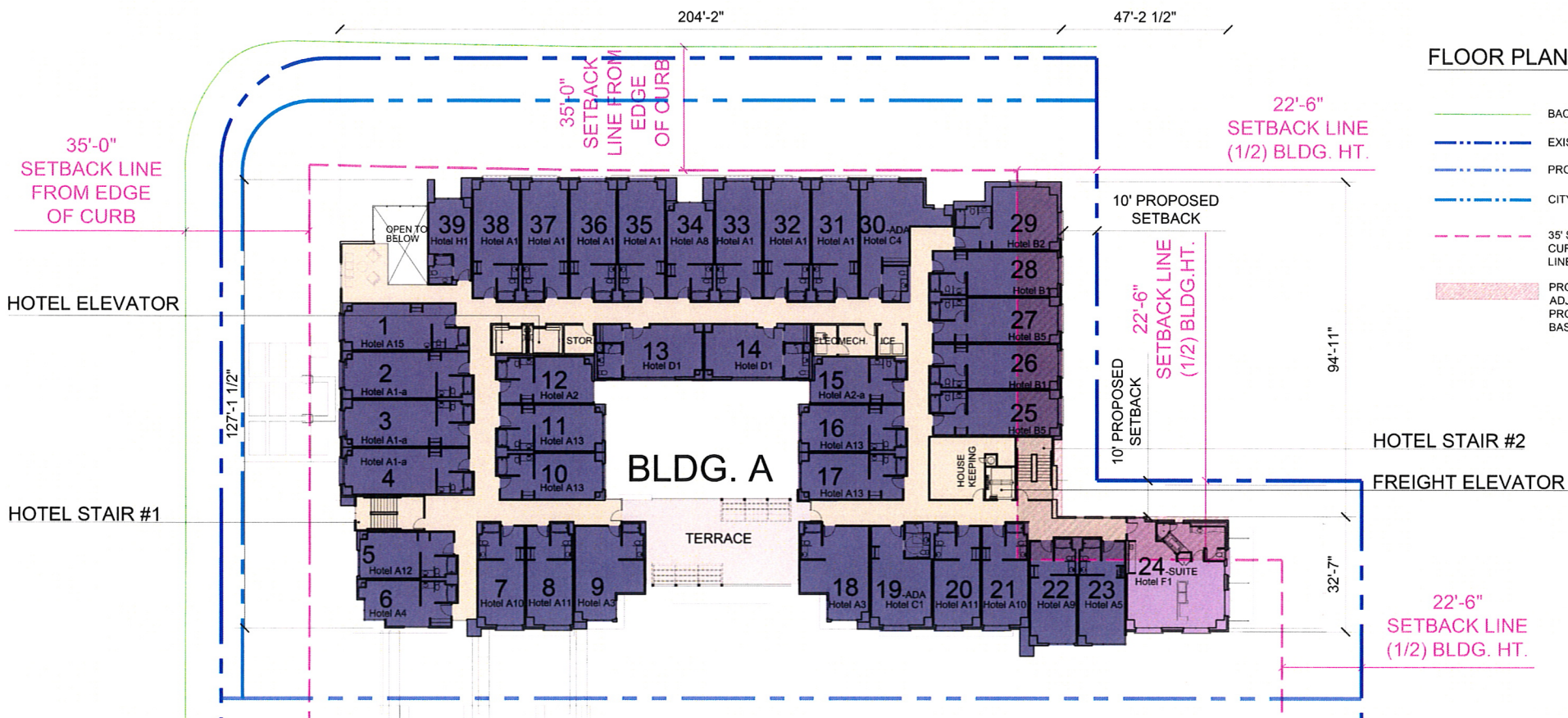
BUILDING PAD ELEVATION	
BUILDING TYPE	ELEVATION
BLDG A (HOTEL)	234.5



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10145 DE ANZA BLVD. AND 10122 BANDLEY DR. CUPERTINO, CALIFORNIA
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JOB NO. 1250.001
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HOTEL UNIT PER FLOOR				
BLDG. A (HOTEL) - SECOND LEVEL	Bed/BA	SQ.FT.	# OF UNITS	TOTAL SQ.FT.
2 BED	HOTEL ROOM A1	468	7	3276
2 BED	HOTEL ROOM A1a	503	3	1509
2 BED	HOTEL ROOM A2	371	1	371
2 BED	HOTEL ROOM A2a	365	1	365
2 BED	HOTEL ROOM A3	493	2	986
2 BED	HOTEL ROOM A4	358	1	358
2 BED	HOTEL ROOM A5	396	1	396
2 BED	HOTEL ROOM A8	384	1	384
2 BED	HOTEL ROOM A9	411	1	411
2 BED	HOTEL ROOM A10	403	2	806
2 BED	HOTEL ROOM A11	400	2	800
2 BED	HOTEL ROOM A12	375	1	375
2 BED	HOTEL ROOM A13	413	4	1652
2 BED	HOTEL ROOM A15	463	1	463
2 BED	HOTEL ROOM B1	478	2	956
2 BED	HOTEL ROOM B2	528	1	528
2 BED	HOTEL ROOM B5	478	2	956
2 BED (ADA)	HOTEL ROOM C1	514	1	514
2 BED	HOTEL ROOM C4	601	1	601
2 BED	HOTEL ROOM D1	481	2	962
2 BED	HOTEL ROOM H1	317	1	317
2 BED	HOTEL ROOM F1	885	1	885
Total			39	17871



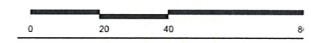
FLOOR PLAN LEGEND

- BACK OF STREET CURB
- - - - EXISTING PROPERTY LINE
- . . . - PROPOSED PROPERTY LINE
- - - - CITY DEDICATED PROPERTY LINE
- - - - 35' SETBACK FROM EDGE OF CURB AND 22'-6" SETBACK LINE (1/2) BUILDING HEIGHT
- PROPOSED 10' SIDE SETBACK ADJACENT TO NEIGHBOR PROPERTY'S CONCRETE BASEMENT ENTRANCE RAMP

KEY LEGEND

- HOTEL ROOM
- HOTEL SUITE
- CIRCULATION

**BUILDING A
SECOND LEVEL**
SCALE: 1/16" = 1'-0"



JOB NO. 1250.001
DATE 04-21-16



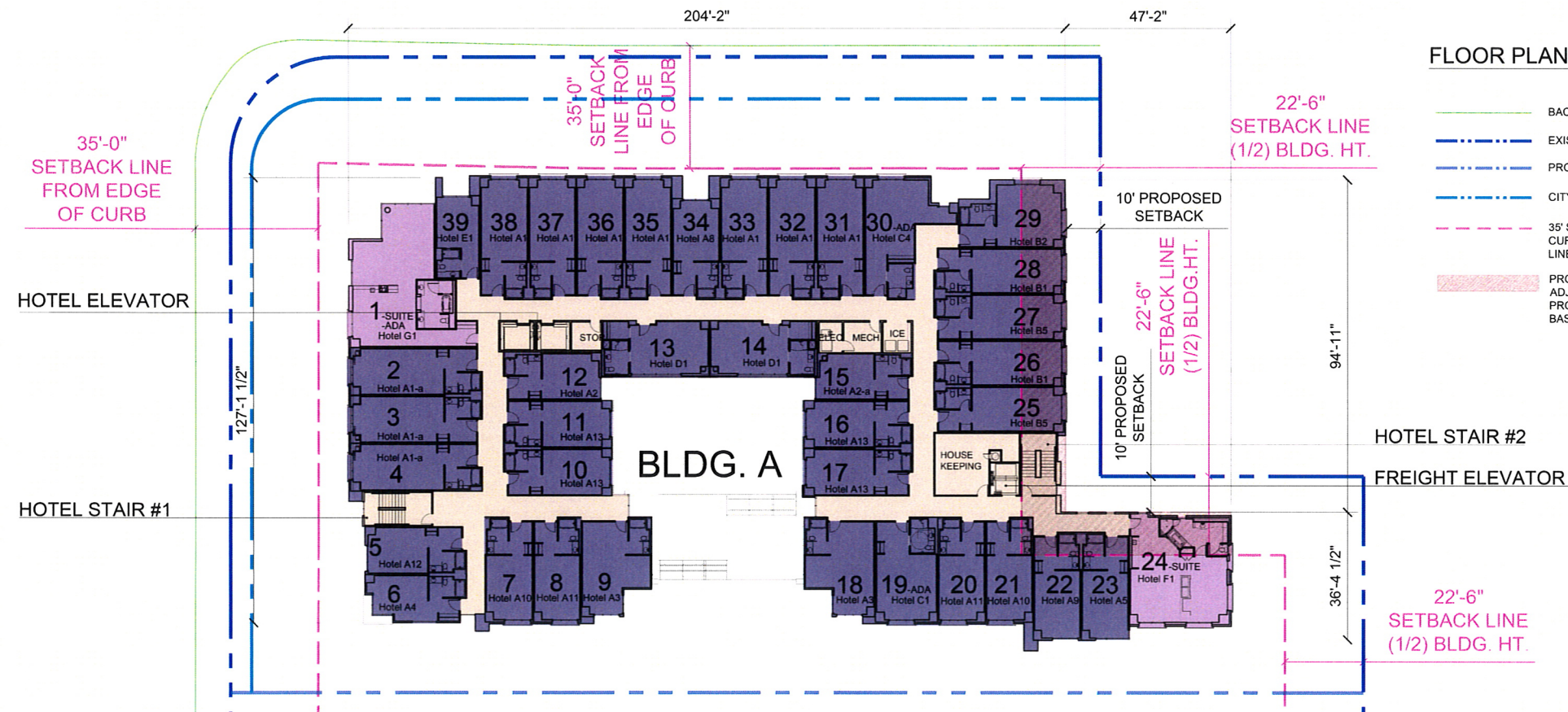
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MARINA PLAZA

10145 DE ANZA BLVD. AND 10122 BANDLEY DR. CUPERTINO, CALIFORNIA
De Anza Venture, LLC

HOTEL UNIT PER FLOOR					
BLDG. A (HOTEL) - THIRD LEVEL	Bed/BA	SQ.FT.	# OF UNITS	TOTAL SQ.F	
2 BED	UNIT A1	468	7	3276	
2 BED	UNITA1a	503	3	1509	
2 BED	UNIT A2	371	1	371	
2 BED	UNIT A2a	365	1	365	
2 BED	UNIT A3	493	2	986	
2 BED	UNIT A4	358	1	358	
2 BED	UNIT A5	396	1	396	
2 BED	UNIT A8	384	1	384	
2 BED	UNIT A9	411	1	411	
2 BED	UNIT B1	397	2	794	
2 BED	UNIT B2	528	1	528	
2 BED	UNIT B5	397	2	794	
2 BED	UNIT C1	514	1	514	
2 BED	UNIT C4	601	1	601	
2 BED	UNIT D1	544	2	1088	
2 BED	UNIT E1	310	1	310	
2 BED SUITE	UNIT F1	885	1	885	
2 BED	UNIT A10	403	2	806	
2 BED	UNIT A11	400	2	800	
2 BED	UNIT A13	403	4	1612	
2 BED	UNIT A12	375	1	375	
1 BED KING SUITE (ADA)	UNIT G1	1079	1	1079	
Total:				39	18242



FLOOR PLAN LEGEND

- BACK OF STREET CURB
- - - EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- - - CITY DEDICATED PROPERTY LINE
- - - 35' SETBACK FROM EDGE OF CURB AND 22'-6" SETBACK LINE (1/2) BUILDING HEIGHT
- PROPOSED 10' SIDE SETBACK ADJACENT TO NEIGHBOR PROPERTY'S CONCRETE BASEMENT ENTRANCE RAMP

KEY LEGEND

- HOTEL ROOM
- HOTEL SUITE
- CIRCULATION

BUILDING A
THIRD LEVEL

SCALE: 1/16" = 1'-0"

JOB NO. 1250.001

DATE 04-21-16

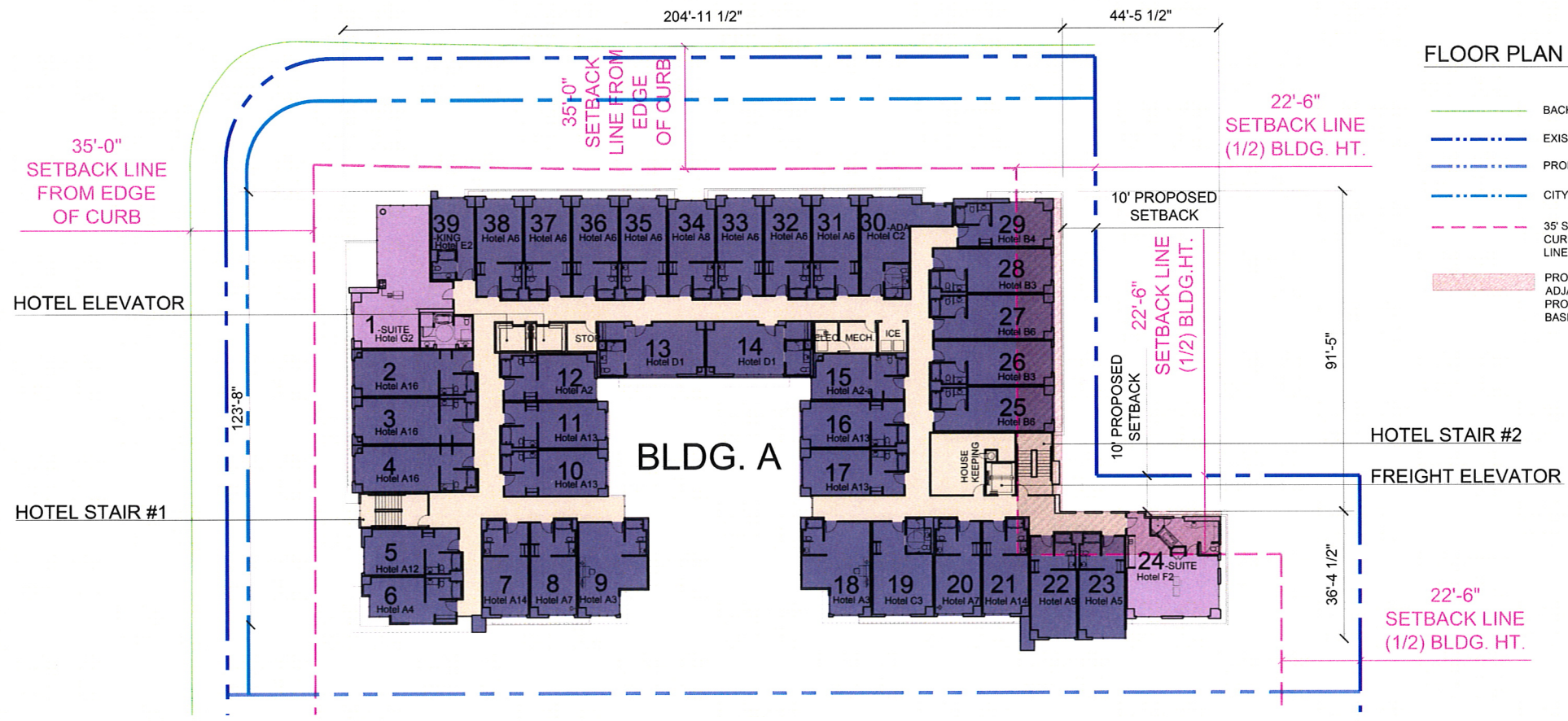
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De Anza Venture, LLC

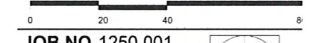
HOTEL UNIT PER FLOOR				
BLDG. A (HOTEL) - FOURTH LEVEL	Bed/BA	SQ.FT.	# OF UNITS	TOTAL SQ.F
2 BED	HOTEL ROOM A2	371	1	371
2 BED	HOTEL ROOM A2a	365	1	365
2 BED	HOTEL ROOM A3	382	2	764
2 BED	HOTEL ROOM A4	354	1	354
2 BED	HOTEL ROOM A5	396	1	396
2 BED	HOTEL ROOM A6	398	7	2786
2 BED	HOTEL ROOM A7	379	2	758
2 BED	HOTEL ROOM A8	384	1	384
2 BED	HOTEL ROOM A9	411	1	411
2 BED	HOTEL ROOM B3	459	2	918
2 BED	HOTEL ROOM B4	389	1	389
2 BED	HOTEL ROOM A12	375	1	375
2 BED	HOTEL ROOM A13	413	4	1652
2 BED	HOTEL ROOM A14	379	2	758
2 BED	HOTEL ROOM A16	483	3	1449
2 BED	HOTEL ROOM D1	481	2	962
2 BED	HOTEL ROOM B6	459	2	918
2 BED (ADA)	HOTEL ROOM C2	513	1	513
2 BED (ADA)	HOTEL ROOM C3	488	1	488
1 BED KING	HOTEL ROOM F2	305	1	305
1 BED KING SUITE	HOTEL ROOM F2	797	1	797
1 BED KING SUITE	HOTEL ROOM G2	950	1	950
Total:			39	17063



- FLOOR PLAN LEGEND**
- BACK OF STREET CURB
 - - - EXISTING PROPERTY LINE
 - · - · - PROPOSED PROPERTY LINE
 - · - · - CITY DEDICATED PROPERTY LINE
 - - - 35' SETBACK FROM EDGE OF CURB AND 22'-6" SETBACK LINE (1/2) BUILDING HEIGHT
 - PROPOSED 10' SIDE SETBACK ADJACENT TO NEIGHBOR PROPERTY'S CONCRETE BASEMENT ENTRANCE RAMP

- KEY LEGEND**
- HOTEL ROOM
 - HOTEL SUITE
 - CIRCULATION

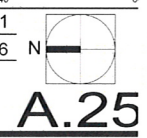
**BUILDING A
FOURTH LEVEL**
SCALE: 1/16" = 1'-0"



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DATE 04-21-16

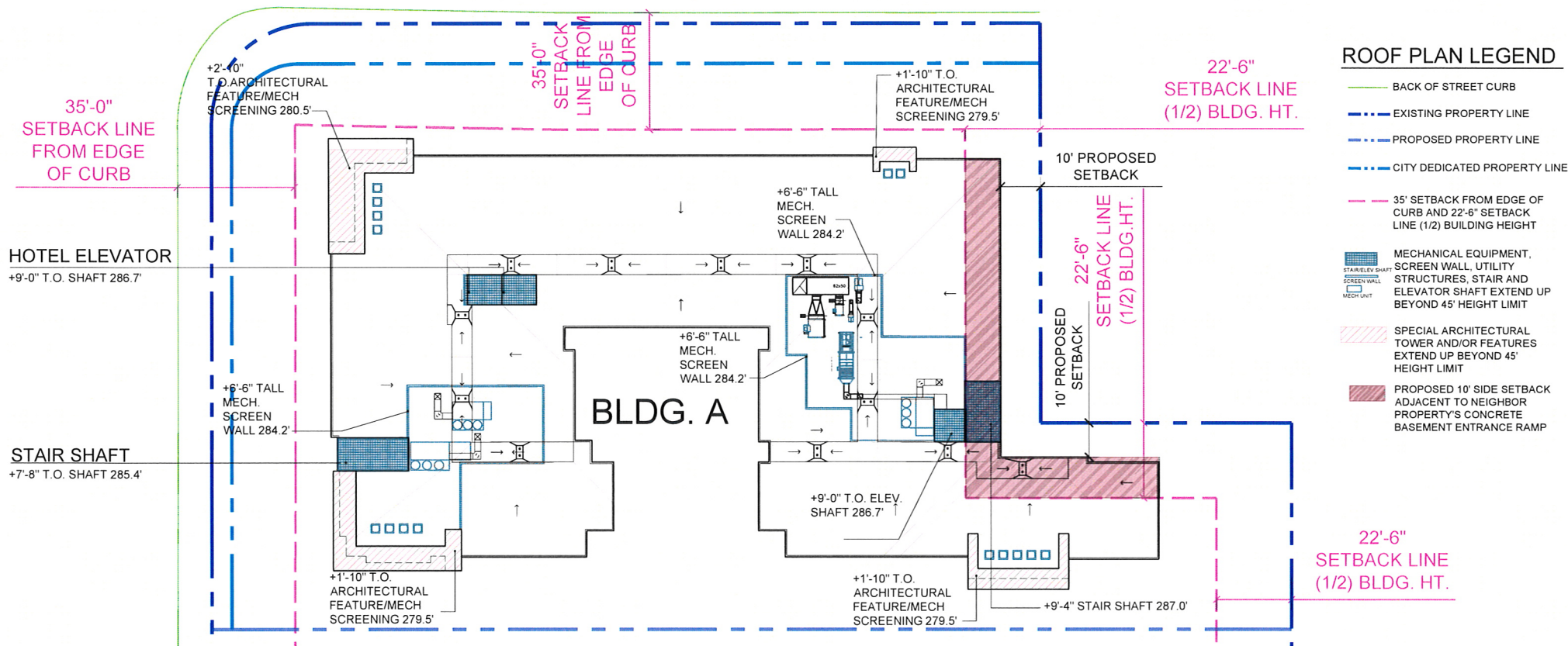


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MARINA PLAZA

10145 DE ANZA BLVD. AND 10122 BANDLEY DR. CUPERTINO, CALIFORNIA
De Anza Venture, LLC



ROOF PLAN LEGEND

- BACK OF STREET CURB
- - - EXISTING PROPERTY LINE
- - - PROPOSED PROPERTY LINE
- - - CITY DEDICATED PROPERTY LINE
- - - 35' SETBACK FROM EDGE OF CURB AND 22'-6" SETBACK LINE (1/2) BUILDING HEIGHT
- MECHANICAL EQUIPMENT, SCREEN WALL, UTILITY STRUCTURES, STAIR AND ELEVATOR SHAFT EXTEND UP BEYOND 45' HEIGHT LIMIT
- ▨ SPECIAL ARCHITECTURAL TOWER AND/OR FEATURES EXTEND UP BEYOND 45' HEIGHT LIMIT
- ▨ PROPOSED 10' SIDE SETBACK ADJACENT TO NEIGHBOR PROPERTY'S CONCRETE BASEMENT ENTRANCE RAMP

MARINA PLAZA

10145 DE ANZA BLVD. AND 10122 BANDLEY DR. CUPERTINO, CALIFORNIA
De Anza Venture, LLC

**BUILDING A
ROOF LEVEL**
SCALE: 1/16" = 1'-0"

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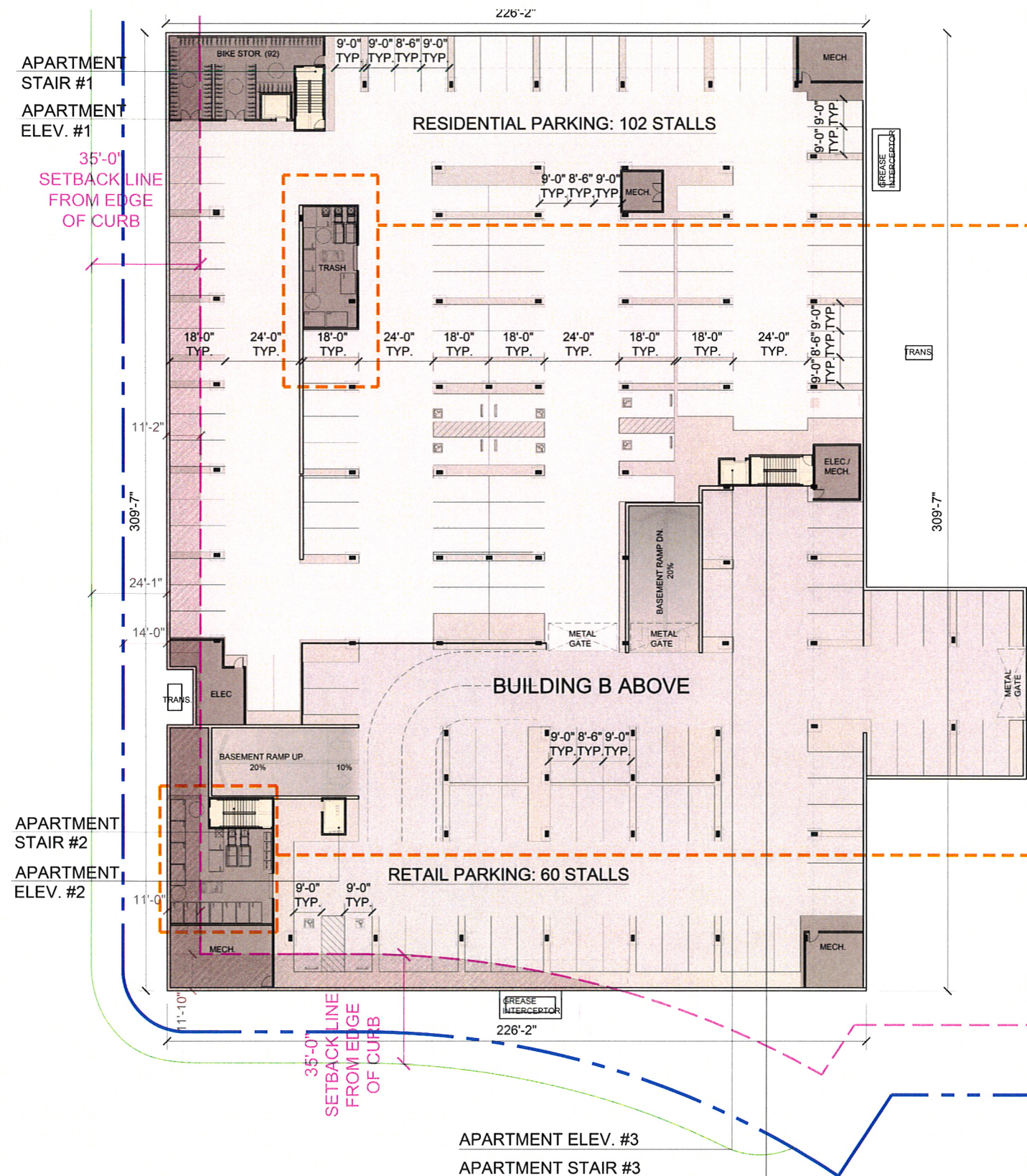
JOB NO. 1250.001
DATE 05-19-16

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BUILDING AREA (SQ. FT)		
BUILDING TYPE	BUILDING AREA (SQ.FT.)	UNITS
BLDG B (APARTMENTS)		
Basement garage 1	73077	SQ.FT.
Basement garage 2	73227	SQ.FT.

PARKING SUMMARY			
REQUIRED RETAIL PARKING	SQ.FT.	FACTOR	TOTAL SPACES
BLDG. B (RESTAURANT W/O BAR) - 1 SPACE PER 4 CHAIRS + 1 PER EMPLOYEE	4234	101 CHAIRS/4+10 EMPLOYEE	36
BLDG. B (RESTAURANT W/O BAR) - 1 SPACE PER 4 CHAIRS + 1 PER EMPLOYEE	4767	114 CHAIRS/4+10 EMPLOYEE	39
BLDG. B (FAST FOOD RESTAURANT) - 1 SPACE PER 3 CHAIRS + 1 PER EMPLOYEE	2770	56 CHAIRS/3+5 EMPLOYEE	24
BLDG. B (RETAIL) - 1 SPACE PER 250 SQ.FT. +1 PER EMPLOYEE	2413	1/250+3 EMPLOYEE	13
BLDG. B (RETAIL) - 1 SPACE PER 250 SQ.FT. +1 PER EMPLOYEE	1361	1/250+2 EMPLOYEE	8
BLDG. B (RETAIL) - 1 SPACE PER 250 SQ.FT. +1 PER EMPLOYEE	1673	1/250+2 EMPLOYEE	9
BLDG. B (RETAIL) - 1 SPACE PER 250 SQ.FT. +1 PER EMPLOYEE	646	1/250+2 EMPLOYEE	5
BLDG. C (RETAIL) - 1 SPACE PER 250 SQ.FT. +1 PER EMPLOYEE	1263	1/250+2 EMPLOYEE	8
BLDG. C (RETAIL-SERVICE) - 1 SPACE PER 175 SQ.FT. +1 PER EMPLOYEE	1466	1/175+2 EMPLOYEE	11
BLDG. C (RETAIL) - 1 SPACE PER 250 SQ.FT. +1 PER EMPLOYEE	2000	1/250+3 EMPLOYEE	11
TOTAL REQUIRED RETAIL PARKING	22593		164

PROPOSED RETAIL PARKING	STANDARD STALL	ACCESSIBLE STALL (5%)	TOTAL
ON GRADE PRIVATE ROAD	38	2	40
BLDG. B - 1ST LEVEL	60	4	64
BLDG. B - BASEMENT LEVEL	58	2	60
TOTAL PROVIDED RETAIL PARKING			164

REQUIRED RESIDENTIAL PARKING	UNITS	FACTOR	TOTAL SPACES
BLDG. B & C (APARTMENT) - 15 BMR UNITS (8 ONE BEDS, 8 TWO BEDS)	16	1 for ONE BED & 2 FOR TWO BED	24
BLDG. B & C (APARTMENT) - 172 UNITS (2 SPACE PER 1 UNITS)	172	2	344
TOTAL REQUIRED RESIDENTIAL PARKING	188		368

PROPOSED RESIDENTIAL PARKING	STANDARD STALL	ACCESSIBLE STALL (2%)	TOTAL
BLDG. B - BASEMENT LEVEL 01	95	7	102
BLDG. B - BASEMENT LEVEL 02	178		178
BLDG. C - BASEMENT LEVEL 01	88	2	90
TOTAL PROVIDED RESIDENTIAL PARKING			370

REQUIRED RESIDENTIAL BICYCLE PARKING	UNITS	FACTOR
BLDG. B AND C (APARTMENT) - 40% OF UNITS (CLASS I)	369	0.4
TOTAL REQUIRED RESIDENTIAL BICYCLE PARKING		

PROPOSED RESIDENTIAL BICYCLE PARKING	UNITS
BLDG. B (APARTMENT) - BIKE LOUNGE 1ST LEVEL (CLASS I - PROVIDED)	12
BLDG. B (APARTMENT) - BASEMENT LEVEL 01 (CLASS I - PROVIDED)	96
BLDG. C (APARTMENT) - BASEMENT LEVEL 01 (CLASS I - PROVIDED)	40
TOTAL REQUIRED RESIDENTIAL BICYCLE PARKING	148

KEY LEGEND

- PARKING
- RETAIL PARKING
- UTILITY / STORAGE
- CIRCULATION

MARINA PLAZA

10145 DE ANZA BLVD. AND 10122 BANDLEY DR. CUPERTINO, CALIFORNIA
De Anza Venture, LLC

BUILDING B
BASEMENT LEVEL 1
SCALE: 1/16" = 1'-0"



JOB NO. 1250.001
DATE 05-19-16



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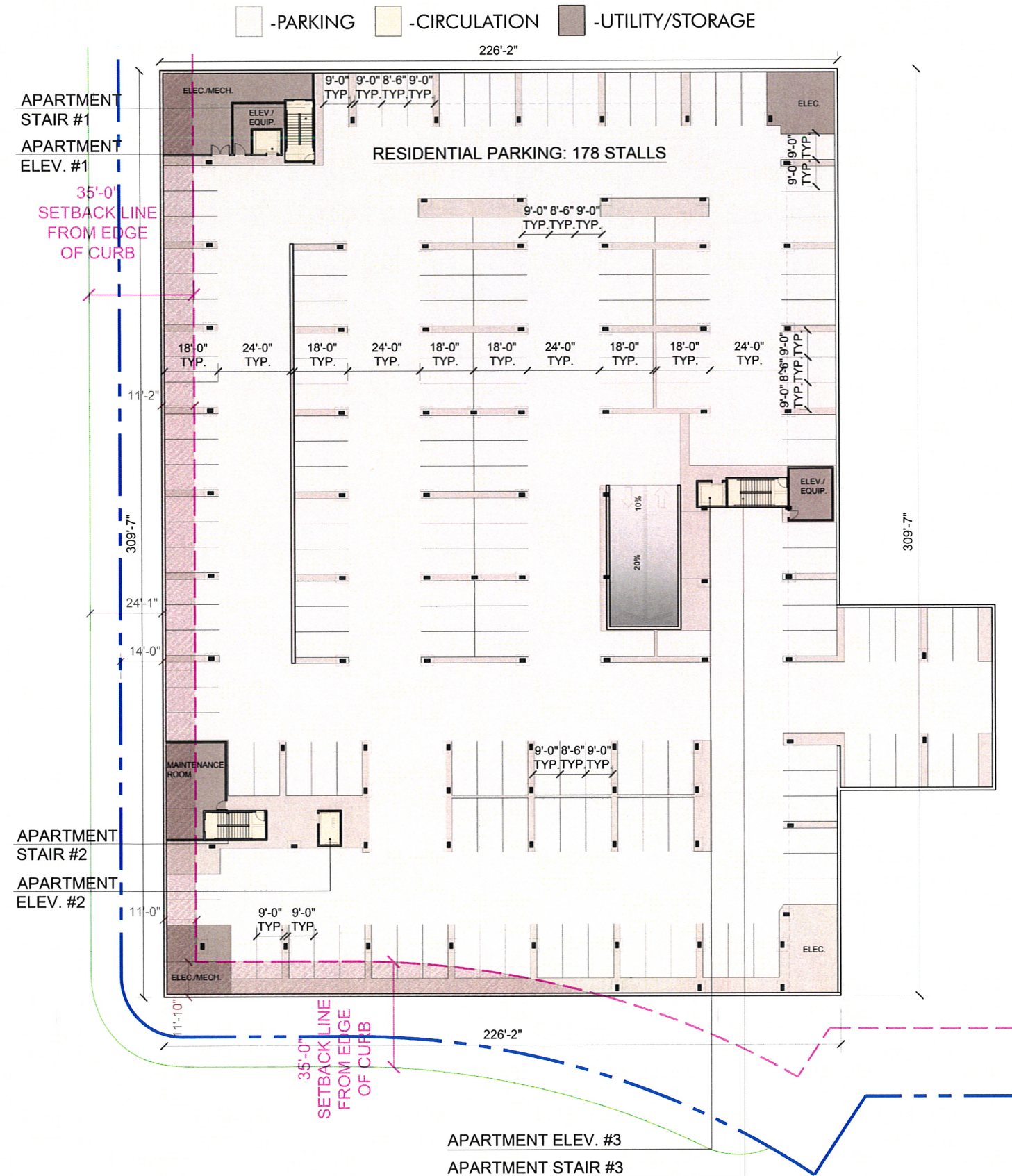
BUILDING TYPE	BUILDING AREA (SQ.FT.)	UNITS
BLDG B (APARTMENTS)		
Basement garage 1	73077	SQ.FT.
Basement garage 2	73227	SQ.FT.

REQUIRED RETAIL PARKING	SQ.FT.	FACTOR	TOTAL SPACES
BLDG. B (RESTAURANT W/O BAR) - 1 SPACE PER 4 CHAIRS + 1 PER EMPLOYEE	4234	101 CHAIRS/4+10 EMPLOYEE	36
BLDG. B (RESTAURANT W/O BAR) - 1 SPACE PER 4 CHAIRS + 1 PER EMPLOYEE	4767	114 CHAIRS/4+10 EMPLOYEE	39
BLDG. B (FAST FOOD RESTAURANT) - 1 SPACE PER 3 CHAIRS + 1 PER EMPLOYEE	2770	56 CHAIRS/3+5 EMPLOYEE	24
BLDG. B (RETAIL) - 1 SPACE PER 250 SQ.FT. +1 PER EMPLOYEE	2413	1/250+3 EMPLOYEE	13
BLDG. B (RETAIL) - 1 SPACE PER 250 SQ.FT. +1 PER EMPLOYEE	1361	1/250+2 EMPLOYEE	8
BLDG. B (RETAIL) - 1 SPACE PER 250 SQ.FT. +1 PER EMPLOYEE	1673	1/250+2 EMPLOYEE	9
BLDG. B (RETAIL) - 1 SPACE PER 250 SQ.FT. +1 PER EMPLOYEE	646	1/250+2 EMPLOYEE	5
BLDG. C (RETAIL) - 1 SPACE PER 250 SQ.FT. +1 PER EMPLOYEE	1263	1/250+2 EMPLOYEE	8
BLDG. C (RETAIL-SERVICE) - 1 SPACE PER 175 SQ.FT. +1 PER EMPLOYEE	1466	1/175+2 EMPLOYEE	11
BLDG. C (RETAIL) - 1 SPACE PER 250 SQ.FT. +1 PER EMPLOYEE	2000	1/250+3 EMPLOYEE	11
TOTAL REQUIRED RETAIL PARKING	22593		164

PROPOSED RETAIL PARKING	STANDARD STALL	ACCESSIBLE STALL (5%)	TOTAL
ON GRADE PRIVATE ROAD	38	2	40
BLDG. B - 1ST LEVEL	60	4	64
BLDG. B - BASEMENT LEVEL	58	2	60
TOTAL PROVIDED RETAIL PARKING			164

REQUIRED RESIDENTIAL PARKING	UNITS	FACTOR	TOTAL SPACES
BLDG. B & C (APARTMENT) - 16 BMR UNITS (8 ONE BEDS, 8 TWO BEDS)	16	1 for ONE BED & 2 FOR TWO BED	24
BLDG. B & C (APARTMENT) - 172 UNITS (2 SPACE PER 1 UNITS)	172	2	344
TOTAL REQUIRED RESIDENTIAL PARKING	188		368

PROPOSED RESIDENTIAL PARKING	STANDARD STALL	ACCESSIBLE STALL (2%)	TOTAL
BLDG. B - BASEMENT LEVEL 01	95	7	102
BLDG. B - BASEMENT LEVEL 02	178		178
BLDG. C - BASEMENT LEVEL 01	88	2	90
TOTAL PROVIDED RESIDENTIAL PARKING			370



MARINA PLAZA

10145 DE ANZA BLVD. AND 10122 BANDLEY DR. CUPERTINO, CALIFORNIA
De Anza Venture, LLC

BUILDING B
BASEMENT LEVEL 2
SCALE: 1/16" = 1'-0"

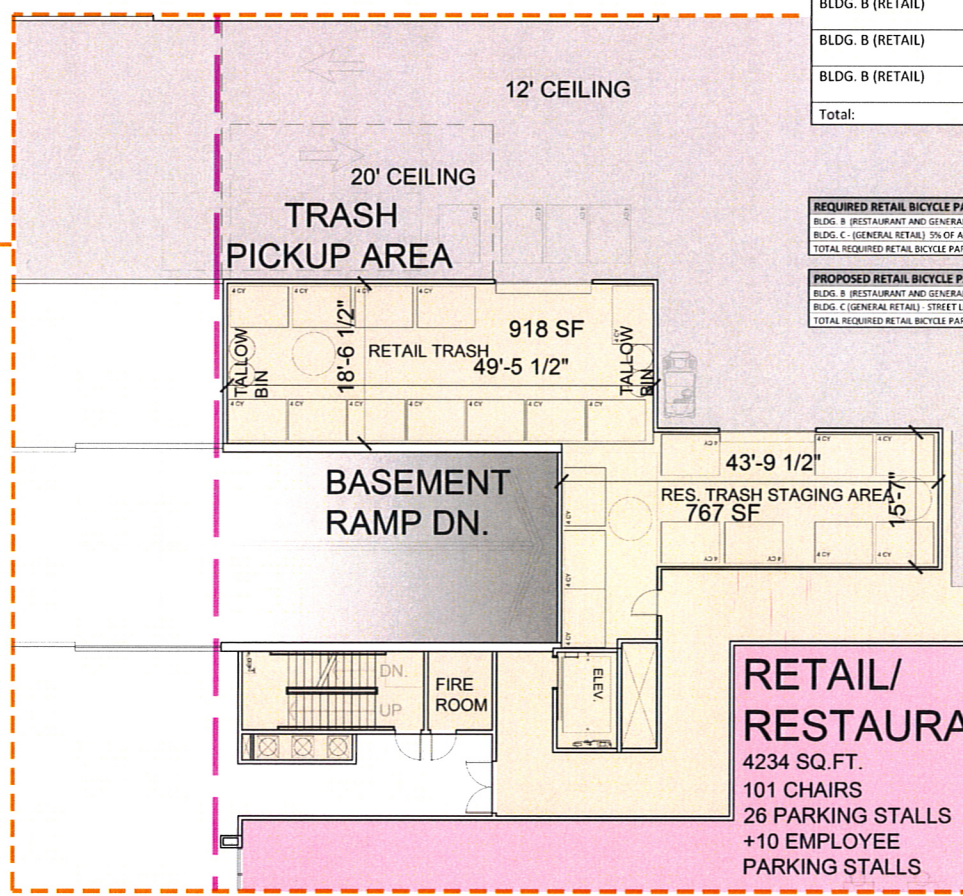
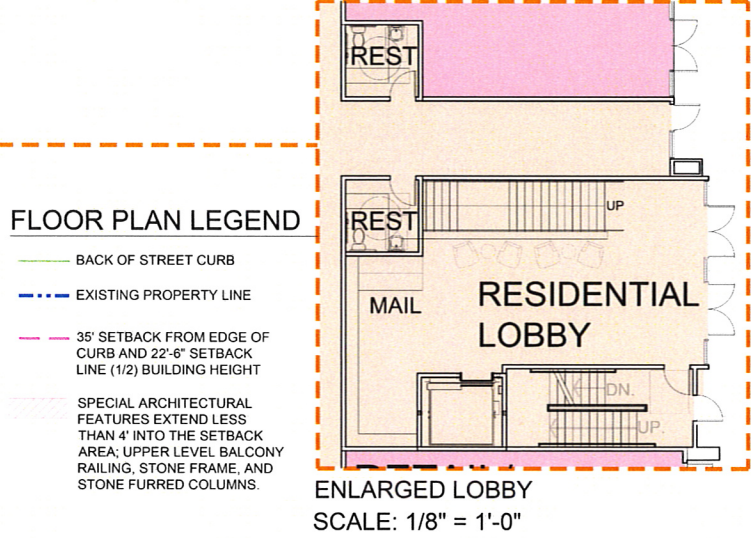
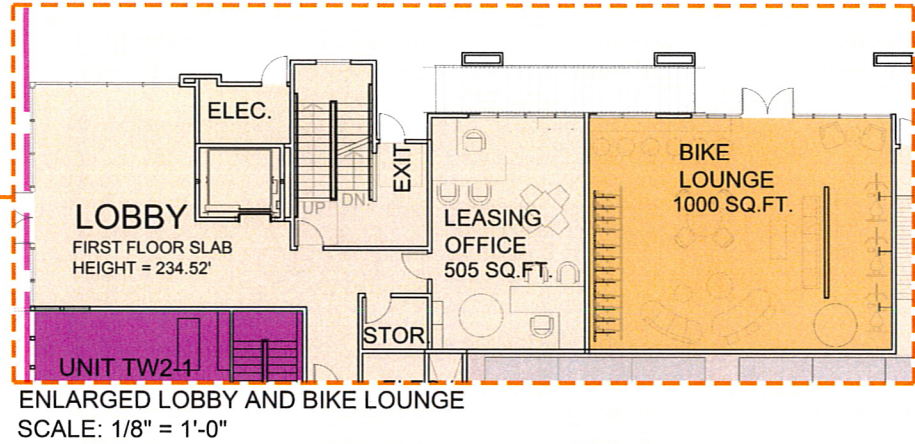
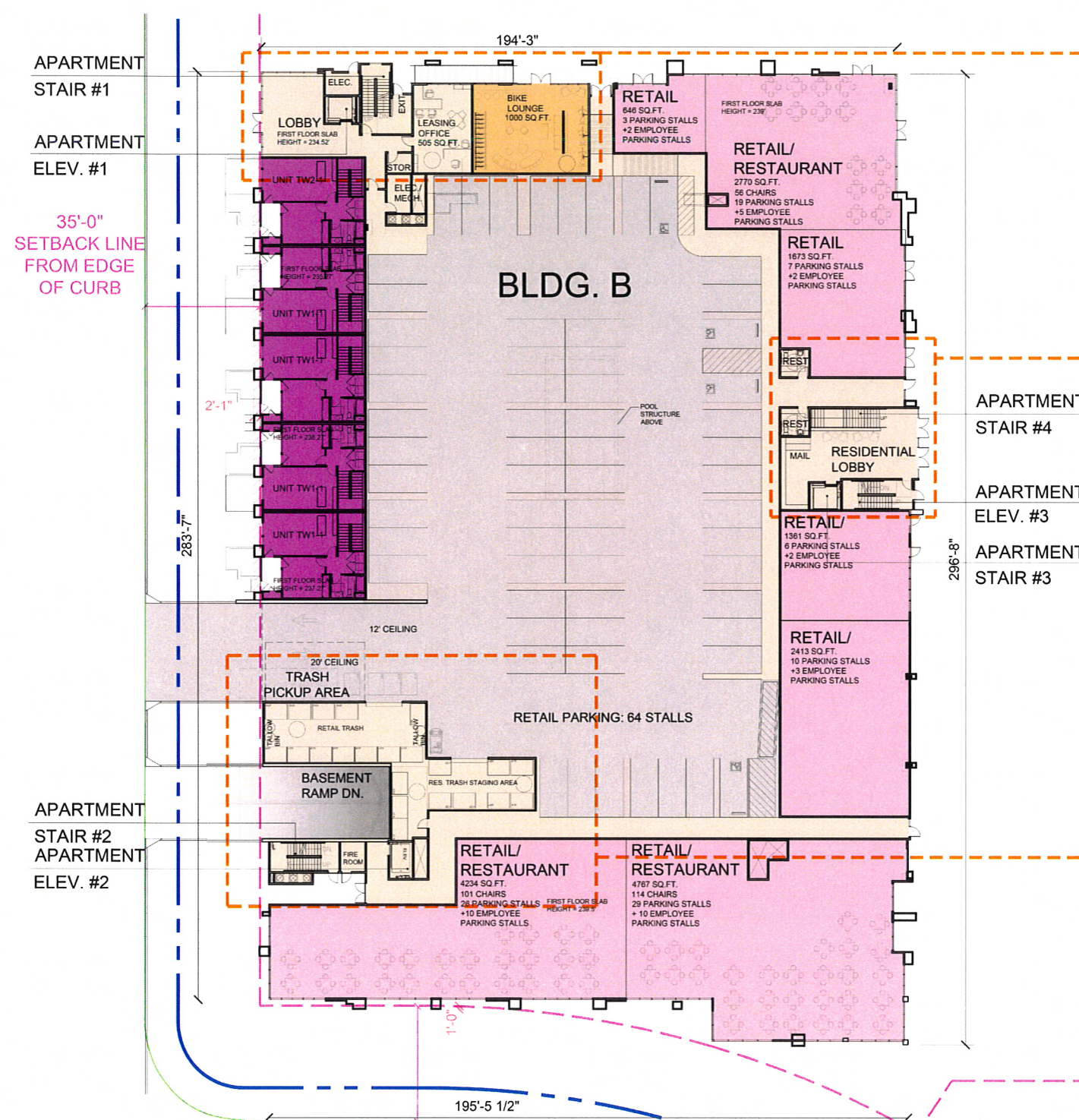
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BUILDING PAD ELEVATION	
BUILDING TYPE	ELEVATION
BLDG B (APARTMENTS/RETAIL) - RETAIL RESTAURANT	237.5 and 237
BLDG B (APARTMENTS/RETAIL) - LOBBY @ ALVE DR.	234.52



PROPOSED USES			
BUILDING TYPE	Spaces	NUMBER OF USERS	HOURS OF OPERATIONS
BLDG B (APARTMENTS/RETAIL)			
RESIDENTIAL			
Apartment Units		108 Residential Rental Units	
Bike Lounge		Rental Tenants	949 8 a.m. to 11 p.m.
Leasing Office		Rental Tenants	556 8 a.m. to 6 p.m.
COMMERCIAL			
Restaurant 1		111	4234 8 a.m. to 11 p.m.
Restaurant 2		124	4767 8 a.m. to 11 p.m.
Restaurant 3		60	2770 8 a.m. to 11 p.m.
Retail		13	2413 8 a.m. to 11 p.m.
Retail		8	1361 8 a.m. to 11 p.m.
Retail		9	1673 8 a.m. to 11 p.m.
Retail		5	646 8 a.m. to 11 p.m.

RESIDENTIAL UNIT PER FLOOR				
BLDG. B (APARTMENT) - GROUND LEVEL	Bed/BA	SQ.FT.	# OF UNITS	TOTAL SQ.FT.
2 BEDROOM UNITS - LIVE/LIVE	UNIT TW1-1/2	1542	3	4626
2 BEDROOM UNITS - LIVE/LIVE	UNIT TW2-1/2	1542	1	1542
2 BEDROOM + DEN UNITS - LIVE/LIVE	UNIT TW1-1/3	1941	1	1942
Total:			5	8109

RETAIL SPACE PER FLOOR		
BLDG. B (RETAIL) - GROUND LEVEL		
BLDG. B (RESTAURANT W/O BAR)	4234	
BLDG. B (RESTAURANT W/O BAR)	4767	
BLDG. B (FAST FOOD RESTAURANT)	2770	
BLDG. B (RETAIL)	2413	
BLDG. B (RETAIL)	1361	
BLDG. B (RETAIL)	1673	
BLDG. B (RETAIL)	646	
Total:	17864	

REQUIRED RETAIL BICYCLE PARKING			
BLDG. B (RESTAURANT AND GENERAL RETAIL) - 5% OF AUTO PARKING (CLASS II)	UNITS	FACTOR	TOTAL SPACES
BLDG. B (RESTAURANT AND GENERAL RETAIL) - 5% OF AUTO PARKING (CLASS II)	134	0.05	7
BLDG. C (GENERAL RETAIL) - 5% OF AUTO PARKING (CLASS II)	30	0.05	2
TOTAL REQUIRED RETAIL BICYCLE PARKING			9

PROPOSED RETAIL BICYCLE PARKING	
BLDG. B (RESTAURANT AND GENERAL RETAIL) - STREET LEVEL (CLASS II - PROVIDED)	UNITS
BLDG. B (RESTAURANT AND GENERAL RETAIL) - STREET LEVEL (CLASS II - PROVIDED)	7
BLDG. C (GENERAL RETAIL) - STREET LEVEL (CLASS II - PROVIDED)	2
TOTAL REQUIRED RETAIL BICYCLE PARKING	9

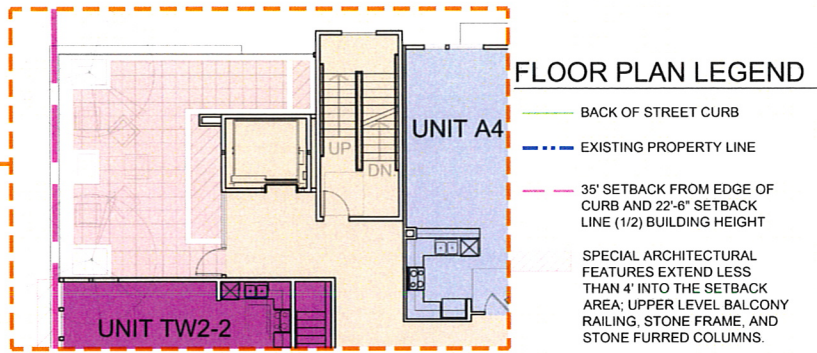
- KEY LEGEND**
- RETAIL
 - LIVE/LIVE UNITS
 - CIRCULATION / SUPPORT
 - APARTMENT AMENITY
 - BASEMENT RAMP
 - PARKING

BUILDING B
GROUND LEVEL
SCALE: 1/16" = 1'-0"

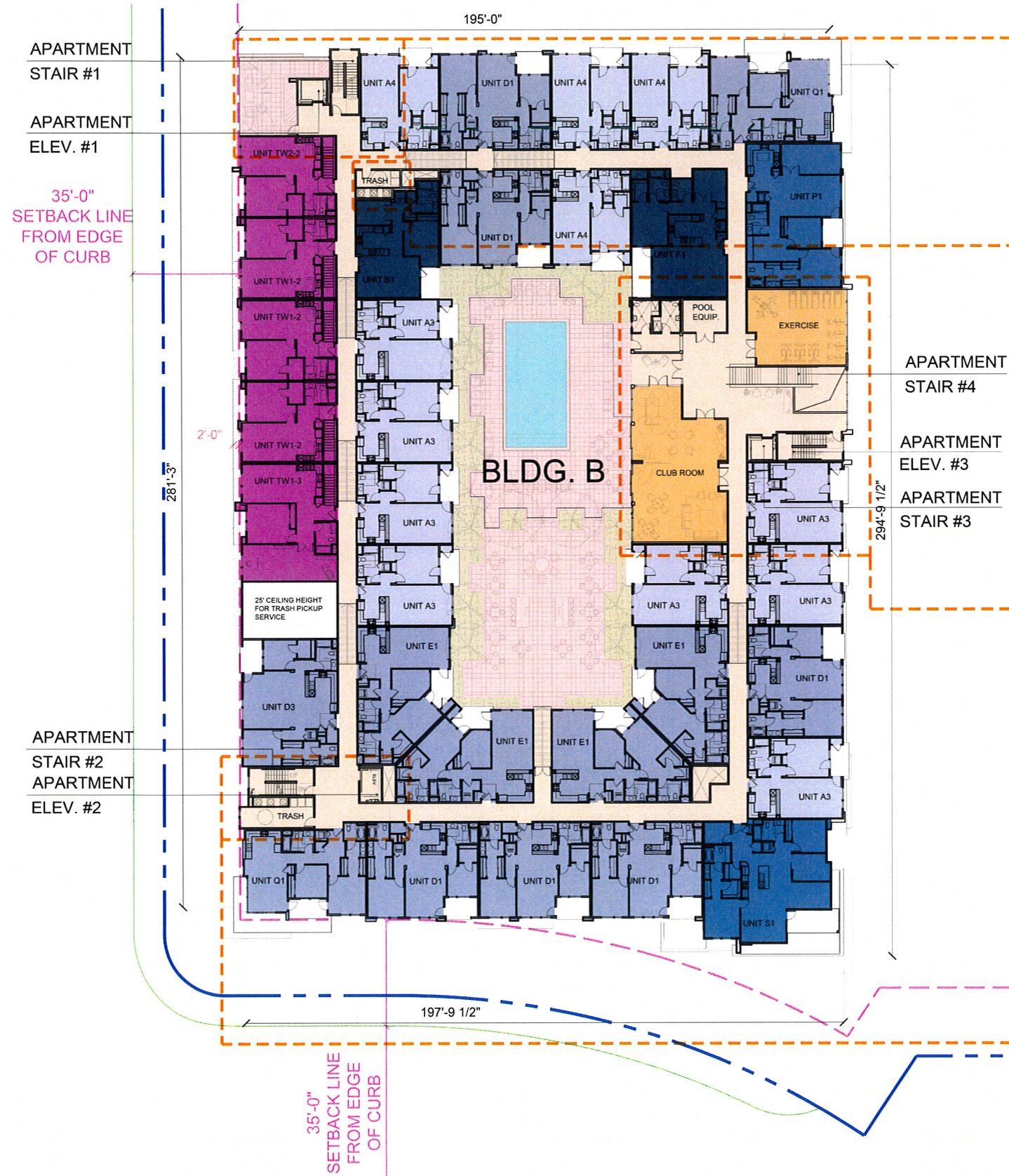
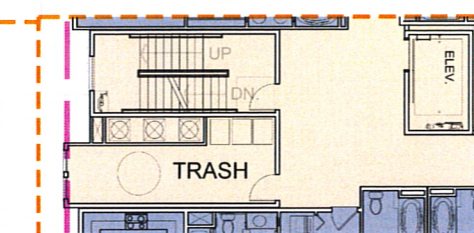
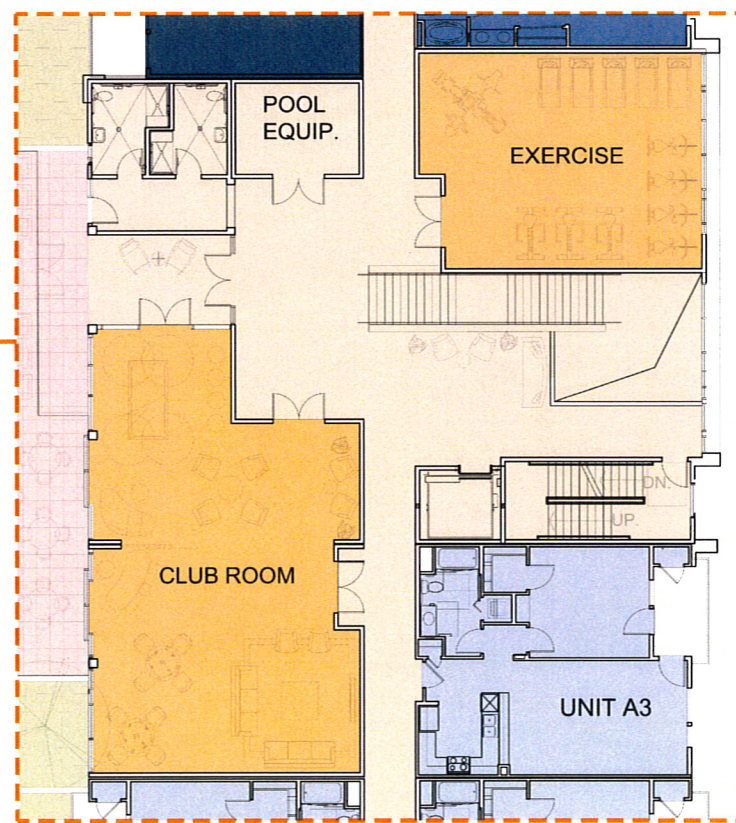
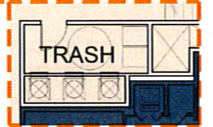
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A.29



ENLARGED ELEVATOR LOBBY
SCALE: 1/8" = 1'-0"



RESIDENTIAL UNIT PER FLOOR				
BLDG. B (APARTMENT) - SECOND LEVEL	Bed/BA	SQ.FT.	# OF UNITS	TOTAL SQ.FT.
1 BEDROOM UNITS - FLAT	UNIT A3	814	8	6512
1 BEDROOM UNITS - FLAT	UNIT A4	782	4	3128
1 BEDROOM + DEN UNITS - FLAT	UNIT B1	925	1	925
2 BEDROOM UNITS - FLAT	UNIT D1	1103	6	6618
2 BEDROOM UNITS - FLAT	UNIT D3	1277	1	1277
2 BEDROOM UNITS - FLAT	UNIT E1	1174	4	4696
1 BEDROOM + DEN UNITS - FLAT	UNIT F1	1209	1	1209
2 BEDROOM UNITS - FLAT	UNIT Q1	1094	2	2188
2 BEDROOM + DEN UNITS - FLAT	UNIT S1	1539	1	1539
2 BEDROOM + DEN UNITS - FLAT	UNIT P1	1465	1	1465
Total:			28	29557

PROPOSED USES				
BUILDING TYPE	AMENITY TYPE	NUMBER OF USERS	SQ.FT.	HOURS OF OPERATIONS
BLDG B (APARTMENTS/RETAIL)	RESIDENTIAL			
	Apartment Units	108 Residential Rental Tenant		
	Apartment Clubhouse	Residential Tenant	1488	8 a.m. to 11 p.m.
	Apartment Fitness	Residential Tenant	845	8 a.m. to 11 p.m.
	Apartment Swimming	Residential Tenant	3393	8 a.m. to 11 p.m.

- KEY LEGEND**
- LIVE/LIVE UPPER FLOOR
 - 2-BEDROOM + DEN FLAT
 - 2-BEDROOM FLAT
 - 1-BEDROOM + DEN FLAT
 - 1-BEDROOM FLAT
 - CIRCULATION / SUPPORT
 - APARTMENT AMENITY

BUILDING B
SECOND LEVEL
SCALE: 1/16" = 1'-0"

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DATE 04-21-16



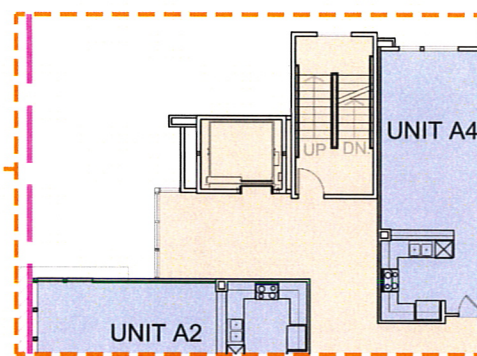
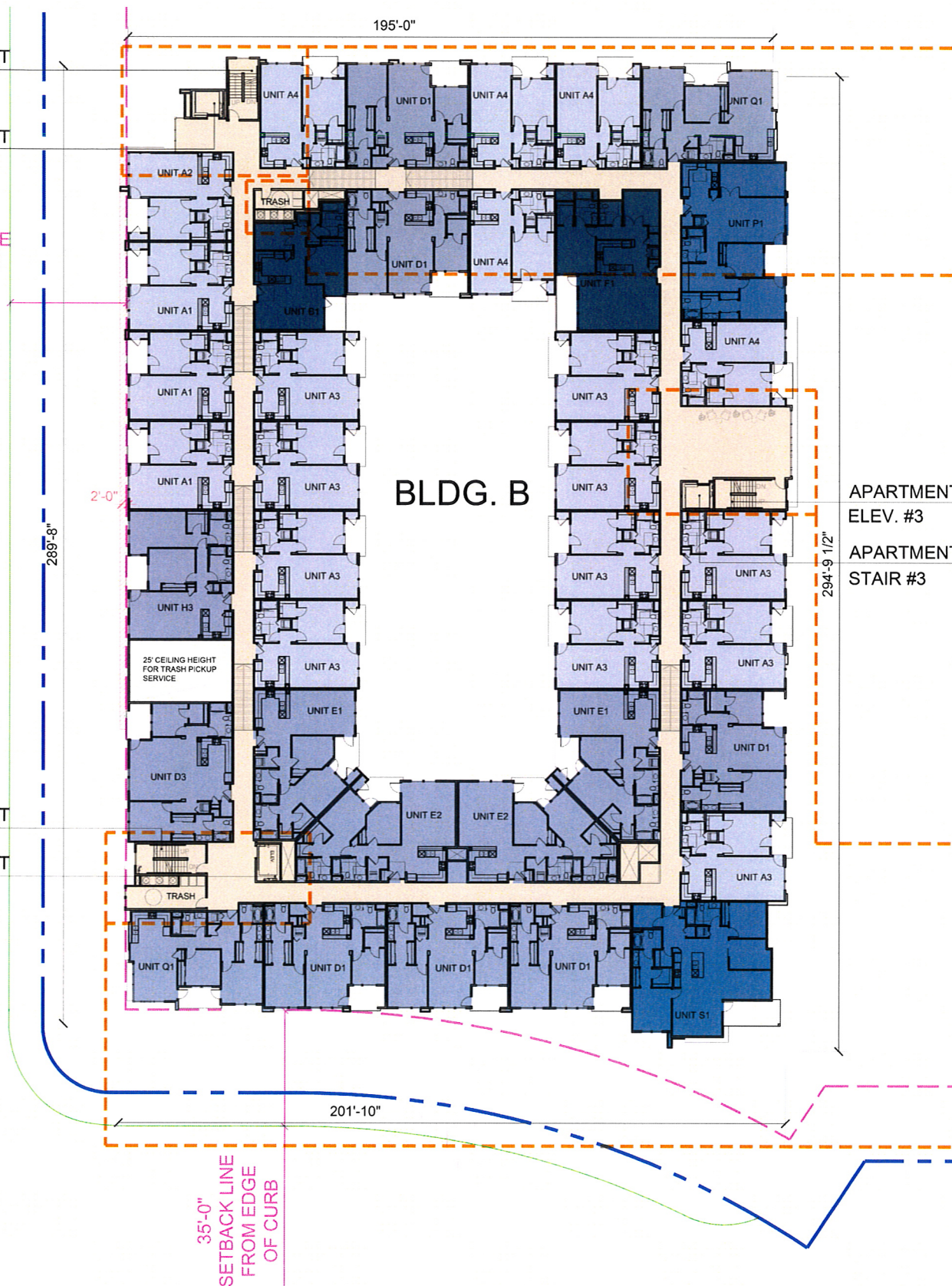
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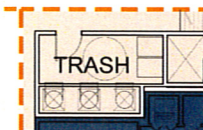
MARINA PLAZA

10145 DE ANZA BLVD. AND 10122 BANDLEY DR. CUPERTINO, CALIFORNIA
De Anza Venture, LLC

APARTMENT
STAIR #1
APARTMENT
ELEV. #1
35'-0"
SETBACK LINE
FROM EDGE
OF CURB



ENLARGED ELEVATOR LOBBY
SCALE: 1/8" = 1'-0"

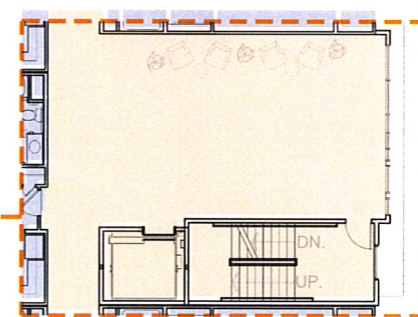


ENLARGED TRASH ROOM
SCALE: 1/8" = 1'-0"

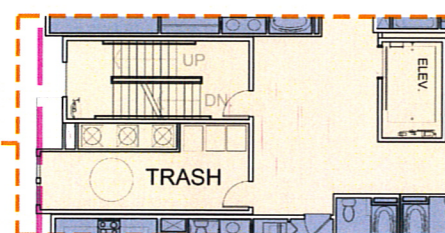
FLOOR PLAN LEGEND

- BACK OF STREET CURB
- EXISTING PROPERTY LINE
- - - 35' SETBACK FROM EDGE OF CURB AND 22'-6" SETBACK LINE (1/2) BUILDING HEIGHT
- SPECIAL ARCHITECTURAL FEATURES EXTEND LESS THAN 4' INTO THE SETBACK AREA; UPPER LEVEL BALCONY RAILING, STONE FRAME, AND STONE FURRED COLUMNS.

RESIDENTIAL UNIT PER FLOOR				
BLDG. B (APARTMENT) - THIRD LEVEL	Bed/BA	SQ.FT.	# OF UNITS	TOTAL SQ.FT.
1 BEDROOM UNITS - FLAT	UNIT A1	797	3	2391
1 BEDROOM UNITS - FLAT	UNIT A2	797	1	797
1 BEDROOM UNITS - FLAT	UNIT A3	814	11	8954
1 BEDROOM UNITS - FLAT	UNIT A4	782	5	3910
1 BEDROOM + DEN UNITS - FLAT	UNIT B1	925	1	925
2 BEDROOM UNITS - FLAT	UNIT D1	1103	6	6618
2 BEDROOM UNITS - FLAT	UNIT D3	1277	1	1277
2 BEDROOM UNITS - FLAT	UNIT E1	1174	2	2348
2 BEDROOM UNITS - FLAT	UNIT E2	1233	2	2466
1 BEDROOM + DEN UNITS - FLAT	UNIT F1	1209	1	1209
2 BEDROOM UNITS - FLAT	UNIT H3	1199	1	1199
2 BEDROOM UNITS - FLAT	UNIT Q1	1094	2	2188
2 BEDROOM UNITS + DEN - FLAT	UNIT P1	1465	1	1465
2 BEDROOM UNITS + DEN - FLAT	UNIT S1	1539	1	1539
Total:			38	37286



ENLARGED ELEVATOR LOBBY
SCALE: 1/8" = 1'-0"



ENLARGED TRASH AREAS
SCALE: 1/8" = 1'-0"

KEY LEGEND

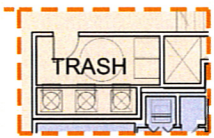
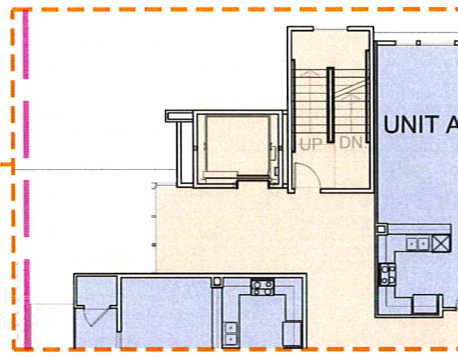
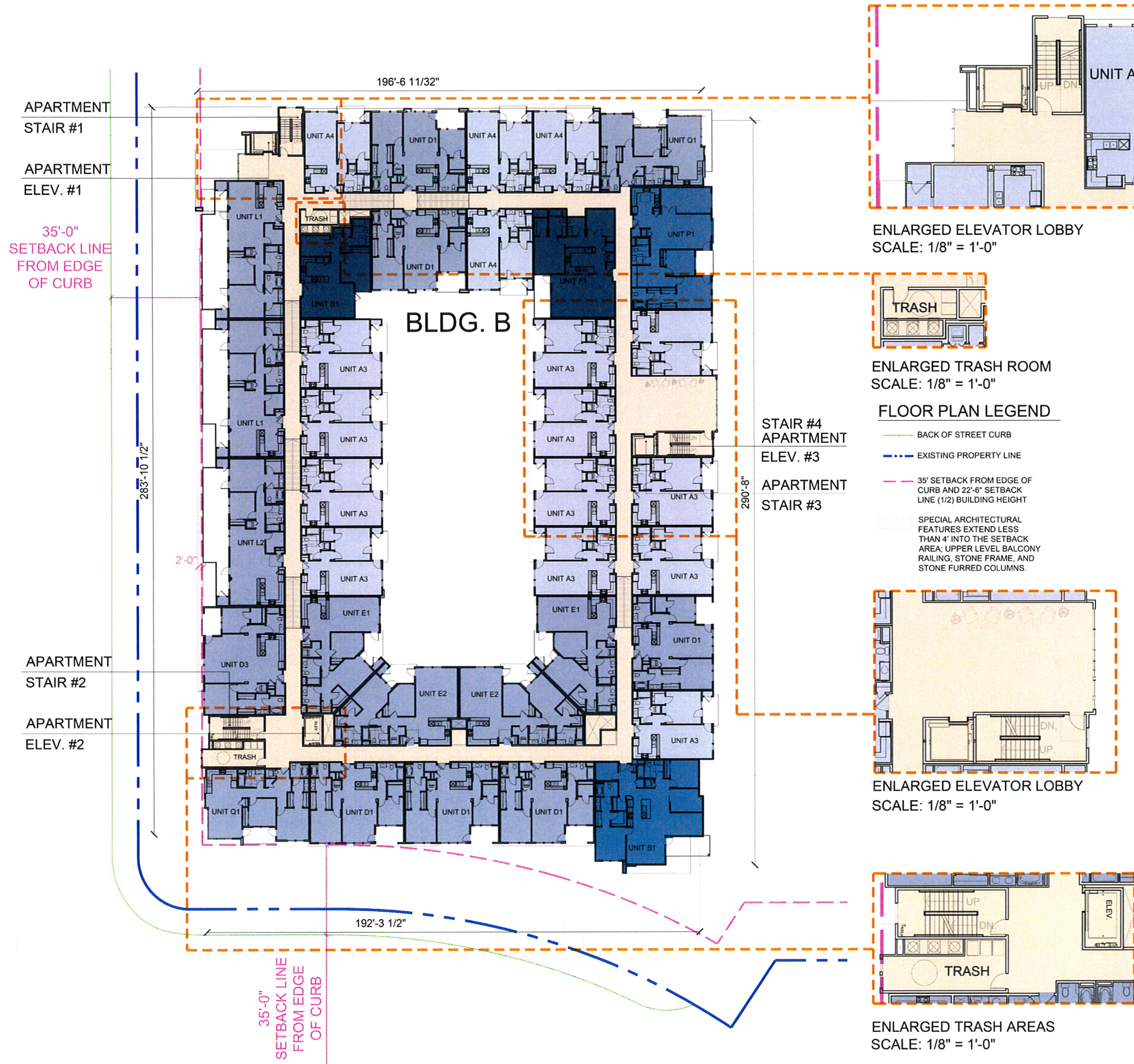
- 2-BEDROOM + DEN FLAT
- 2-BEDROOM FLAT
- 1-BEDROOM + DEN FLAT
- 1-BEDROOM FLAT
- CIRCULATION / SUPPORT

BUILDING B
THIRD LEVEL
SCALE: 1/16" = 1'-0"

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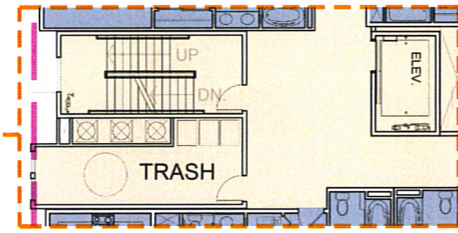
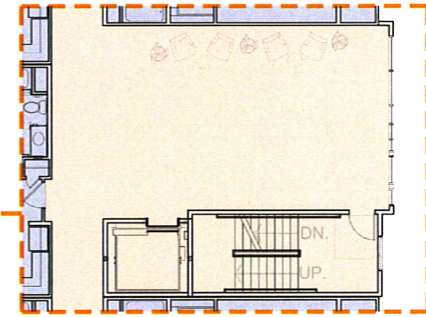
MARINA PLAZA

10145 DE ANZA BLVD. AND 10122 BANDLEY DR. CUPERTINO, CALIFORNIA
De Anza Venture, LLC



FLOOR PLAN LEGEND

- BACK OF STREET CURB
- - - EXISTING PROPERTY LINE
- - - 35' SETBACK FROM EDGE OF CURB AND 22'-8" SETBACK LINE (1/2) BUILDING HEIGHT
- SPECIAL ARCHITECTURAL FEATURES EXTEND LESS THAN 4' INTO THE SETBACK AREA: UPPER LEVEL BALCONY RAILING, STONE FRAME, AND STONE FURRED COLUMNS.



RESIDENTIAL UNIT PER FLOOR				
BLDG. B (APARTMENT) - FOURTH LEVEL	Bed/BA	SQ.FT.	# OF UNITS	TOTAL SQ.FT.
1 BEDROOM UNITS - FLAT	UNIT A3	814	11	8954
1 BEDROOM UNITS - FLAT	UNIT A4	782	5	3910
1 BEDROOM + DEN UNITS - FLAT	UNIT B1	925	1	925
2 BEDROOM UNITS - FLAT	UNIT D1	1103	6	6618
1 BEDROOM UNITS - FLAT	UNIT D3	1277	1	1277
2 BEDROOM UNITS - FLAT	UNIT E1	1174	2	2348
2 BEDROOM UNITS - FLAT	UNIT E2	1233	2	2466
1 BEDROOM + DEN UNITS - FLAT	UNIT F1	1209	1	1209
2 BEDROOM UNITS - FLAT	UNIT L1	1226	2	2452
2 BEDROOM UNITS - FLAT	UNIT L2	1313	1	1313
2 BEDROOM UNITS - FLAT	UNIT Q1	1094	2	2188
2 BEDROOM + DEN UNITS - FLAT	UNIT P1	1465	1	1465
2 BEDROOM + DEN UNITS - FLAT	UNIT S1	1539	1	1539
Total:			36	36664

KEY LEGEND

- 2-BEDROOM + DEN FLAT
- 2-BEDROOM FLAT
- 1-BEDROOM + DEN FLAT
- 1-BEDROOM FLAT
- CIRCULATION / SUPPORT

BUILDING B
FOURTH LEVEL
SCALE: 1/16" = 1'-0"

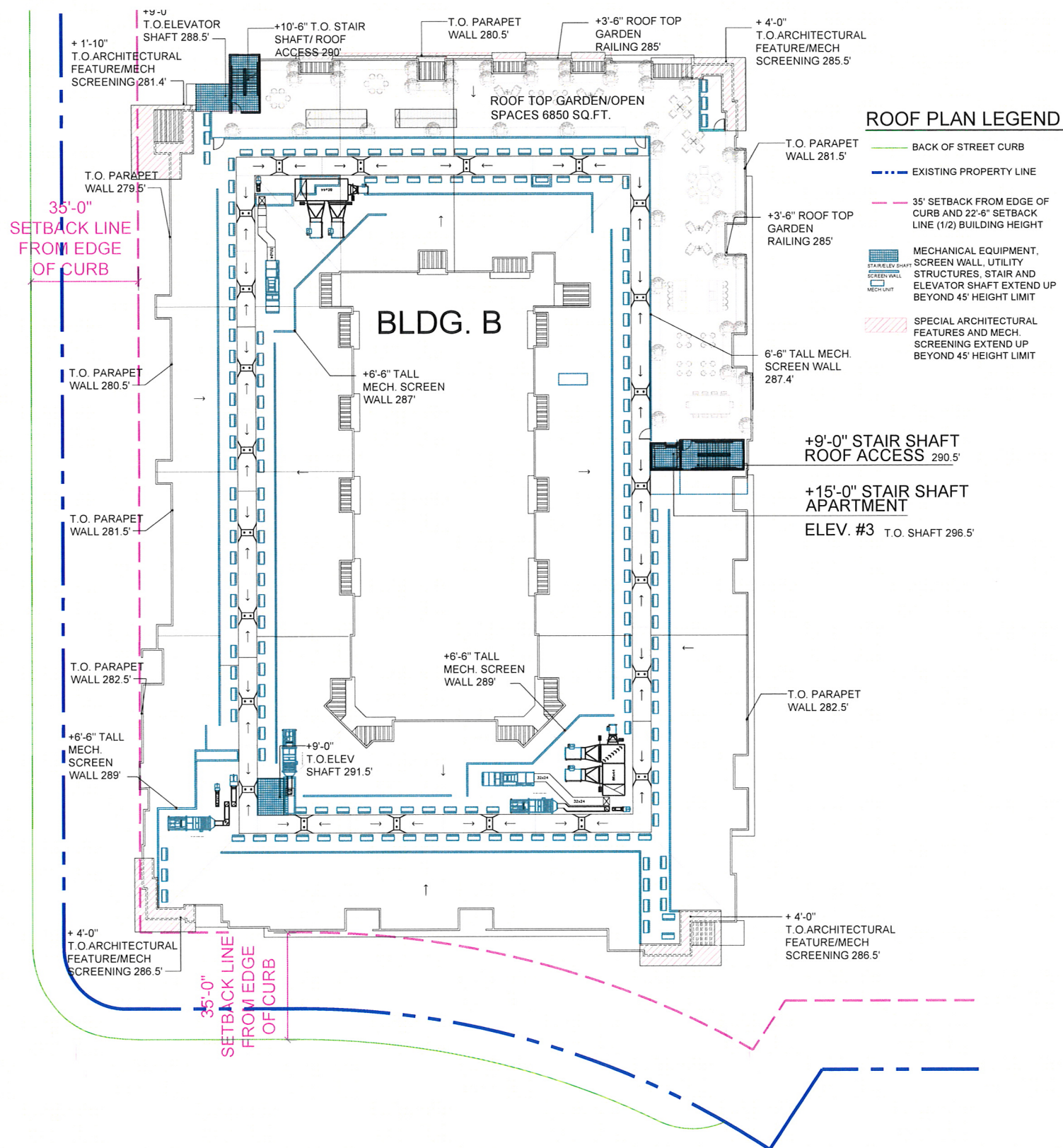
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DATE 04-21-16



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BUILDING B
 ROOF LEVEL
 SCALE: 1/16" = 1'-0"

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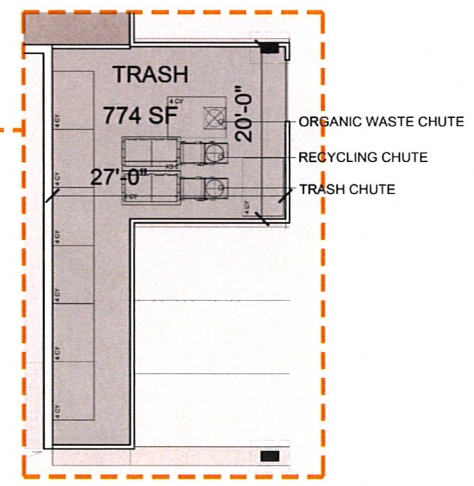
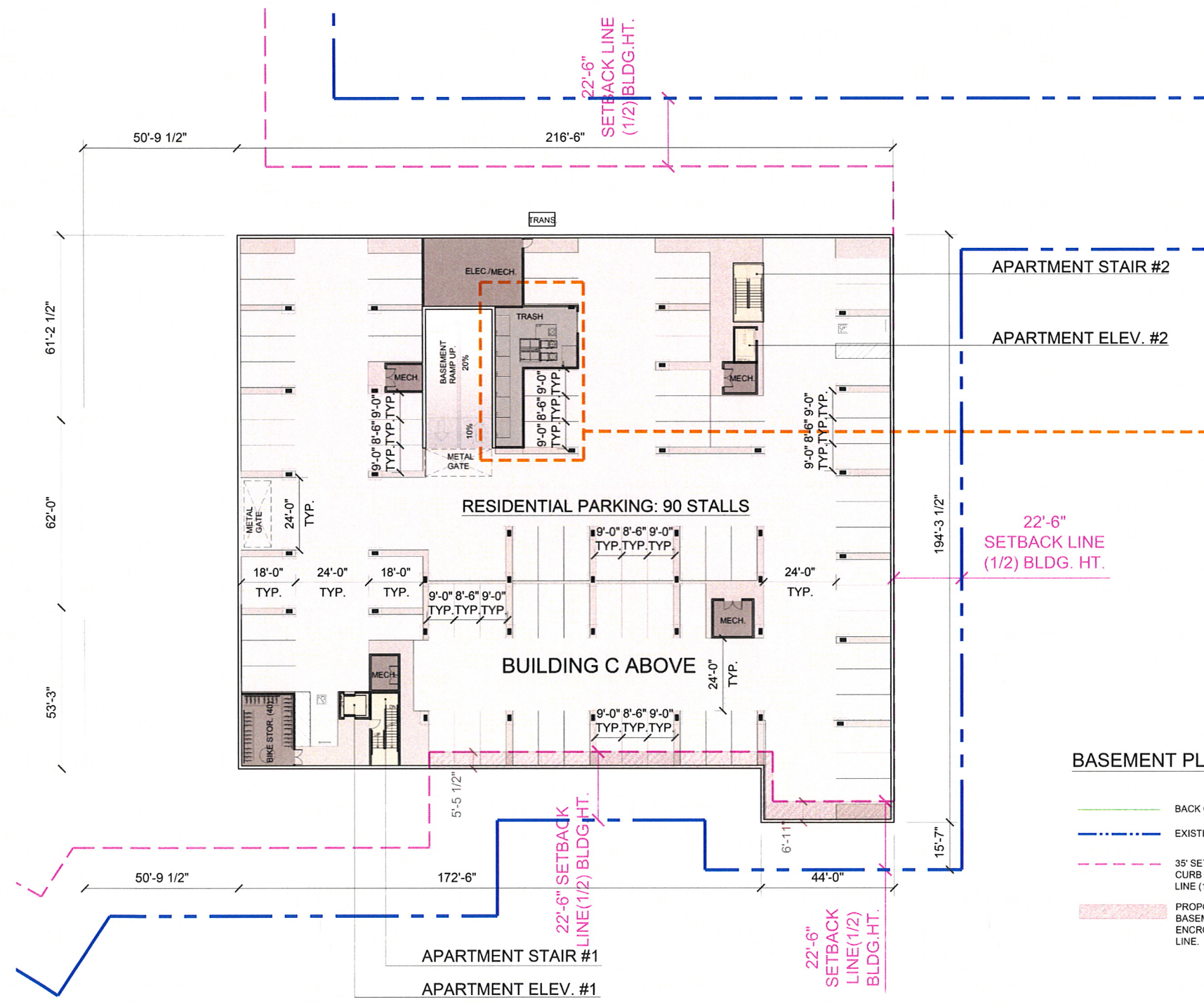
BUILDING AREA (SQ. FT)		
BUILDING TYPE	BUILDING AREA (SQ.FT.)	UNITS
BLDG C (APARTMENT)		
Basement garage 1	38982	SQ.FT.

PARKING SUMMARY			
REQUIRED RESIDENTIAL PARKING	UNITS	FACTOR	TOTAL SPACES
BLDG. B & C (APARTMENT) – 16 BMR UNITS (8 ONE BEDS, 8 TWO BEDS)	16	1 for ONE BED & 2 FOR TWO BED	24
BLDG. B & C (APARTMENT) – 172 UNITS (2 SPACE PER 1 UNITS)	172	2	344
TOTAL REQUIRED RESIDENTIAL PARKING	188		368

PROPOSED RESIDENTIAL PARKING	STANDARD STALL	ACCESSIBLE STALL (2%)	TOTAL
BLDG. B – BASEMENT LEVEL 01	95	7	102
BLDG. B – BASEMENT LEVEL 02	178		178
BLDG. C – BASEMENT LEVEL 01	87	3	90
TOTAL PROVIDED RESIDENTIAL PARKING			370

REQUIRED RESIDENTIAL BICYCLE PARKING	UNITS	FACTOR	TOTAL SPACES
BLDG. B AND C (APARTMENT) 40% OF UNITS (CLASS I)	369	0.4	148
TOTAL REQUIRED RESIDENTIAL BICYCLE PARKING			148

PROPOSED RESIDENTIAL BICYCLE PARKING	UNITS
BLDG. B (APARTMENT) – BIKE LOUNGE 1ST LEVEL (CLASS I - PROVIDED)	22
BLDG. B (APARTMENT) – BASEMENT LEVEL 03 (CLASS I - PROVIDED)	96
BLDG. C (APARTMENT) – BASEMENT LEVEL 03 (CLASS I - PROVIDED)	40
TOTAL PROVIDED RESIDENTIAL BICYCLE PARKING	148



- BASEMENT PLAN LEGEND**
- BACK OF STREET CURB
 - - - EXISTING PROPERTY LINE
 - - - 35' SETBACK FROM EDGE OF CURB AND 22'-6" SETBACK LINE (1/2) BUILDING HEIGHT
 - PROPOSED UNDERGROUND BASEMENT WALL ENCROACHED INTO SETBACK LINE.

- KEY LEGEND**
- PARKING
 - CIRCULATION
 - UTILITY / STORAGE
 - TRASH / SERVICE

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 10145 DE ANZA BLVD. AND 10122 BANDLEY DR. CUPERTINO, CALIFORNIA
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**BUILDING C
 BASEMENT LEVEL 1
 SCALE: 1/16" = 1'-0"**

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BUILDING PAD ELEVATION

BUILDING TYPE	ELEVATION
BLDG C (APARTMENTS/RETAIL) - RETAIL/OFFICE	239
BLDG C (APARTMENTS/RETAIL) - LIVE/LIVE	240
BLDG C (APARTMENTS/RETAIL) - LOBBY AND COURTYARD	242

RESIDENTIAL UNIT PER FLOOR

BLDG. C (APARTMENT) - GROUND LEVEL	Bed/BA	SQ.FT.	# OF UNITS	TOTAL SQ.FT.
1 BEDROOM UNITS - FLAT	UNIT C1	687	1	687
2 BEDROOM UNITS - FLAT	UNIT G1	1102	3	3306
2 BEDROOM UNITS - FLAT	UNIT G2	1097	1	1097
2 BEDROOM UNITS - FLAT	UNIT H1	991	1	991
2 BEDROOM UNITS - FLAT	UNIT J1	1007	2	2014
1 BEDROOM + DEN UNITS - FLAT	UNIT K1	853	3	2559
2 BEDROOM UNITS - LIVE/LIVE	UNIT TW3-1/2	1485	2	2970
2 BEDROOM UNITS - LIVE/LIVE	UNIT TW4-1/2	1631	1	1631
2 BEDROOM + DEN UNITS - FLAT	UNIT H2	1265	1	1265
Total:			15	16520

PROPOSED USES

BUILDING TYPE	AMENITY TYPE	NUMBER OF USERS	SQ.FT.	HOURS OF OPERATIONS
BLDG C (APARTMENTS/RETAIL)	RESIDENTIAL			
	80 Residential Rental Tenant			
	Apartment Units	882		8 a.m. to 11 p.m.
	Community Room	360		8 a.m. to 11 p.m.
	Manager Office			
	Residential Tenant			
	COMMERCIAL			
	Retail	8	1263	8 a.m. to 6 p.m.
	Service Retail	11	1466	8 a.m. to 6 p.m.
	Retail	11	2000	8 a.m. to 6 p.m.

REQUIRED RETAIL BICYCLE PARKING

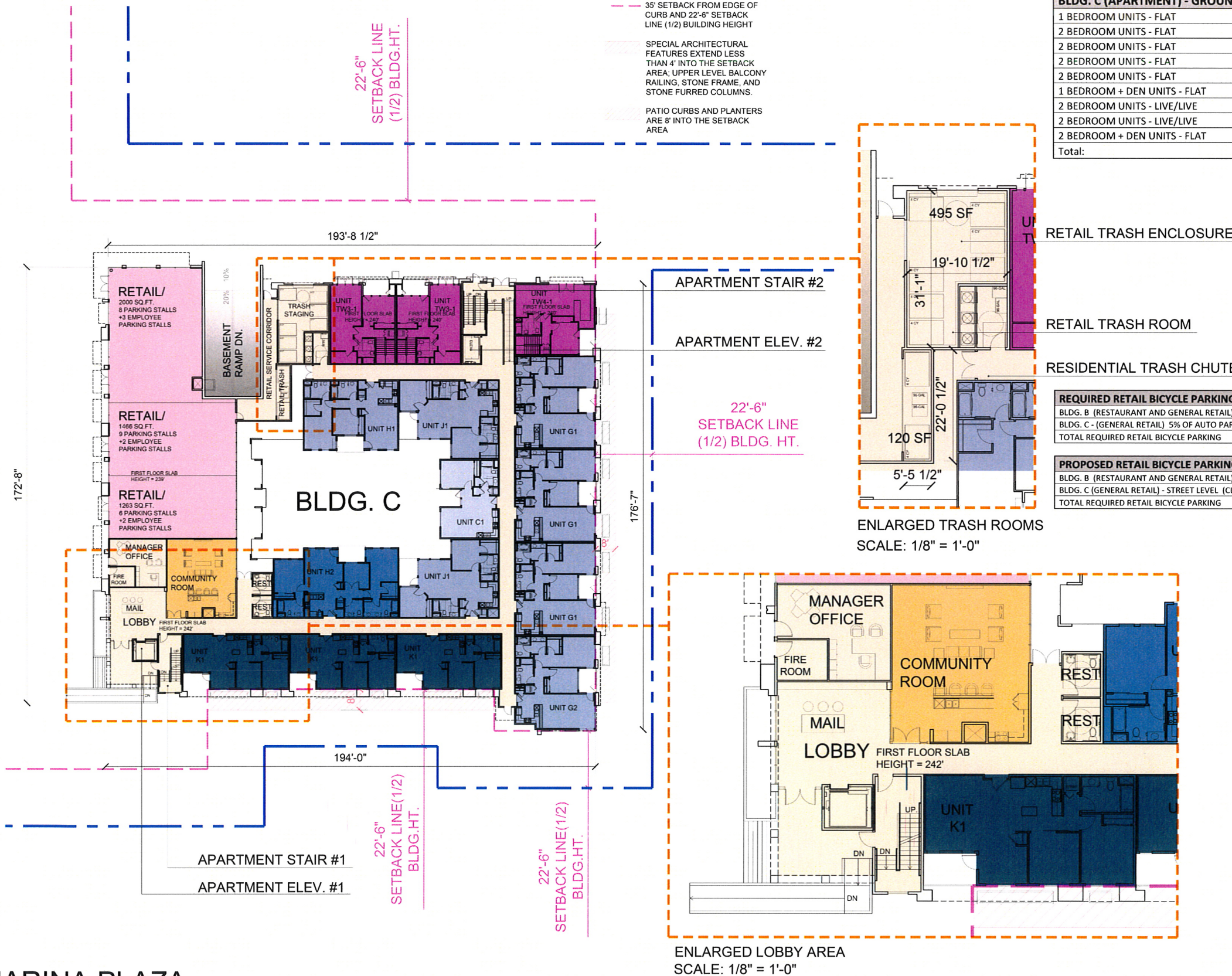
BLDG. B (RESTAURANT AND GENERAL RETAIL) - 5% OF AUTO PARKING (CLASS II)	UNITS	FACTOR	TOTAL SPACES
	134	0.05	7
BLDG. C - (GENERAL RETAIL) 5% OF AUTO PARKING (CLASS II)	30	0.05	2
TOTAL REQUIRED RETAIL BICYCLE PARKING			9

PROPOSED RETAIL BICYCLE PARKING

BLDG. B (RESTAURANT AND GENERAL RETAIL) - STREET LEVEL (CLASS II - PROVIDED)	UNITS
	7
BLDG. C (GENERAL RETAIL) - STREET LEVEL (CLASS II - PROVIDED)	2
TOTAL REQUIRED RETAIL BICYCLE PARKING	9

FLOOR PLAN LEGEND

- EXISTING PROPERTY LINE
- - - 35' SETBACK FROM EDGE OF CURB AND 22'-6" SETBACK LINE (1/2) BUILDING HEIGHT
- Special Architectural Features Extend Less Than 4' Into the Setback Area: Upper Level Balcony Railing, Stone Frame, and Stone Furred Columns.
- Patio Curbs and Planters are 8' into the Setback Area



KEY LEGEND

- RETAIL
- LIVE/LIVE UPPER FLOOR
- 2-BEDROOM + DEN FLAT
- 2-BEDROOM FLAT
- 1-BEDROOM + DEN FLAT
- 1-BEDROOM FLAT
- CIRCULATION / SUPPORT
- APARTMENT AMENITY
- BASEMENT RAMP
- PARKING

**BUILDING C
GROUND LEVEL
SCALE: 1/16" = 1'-0"**

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DATE 04-21-16 N

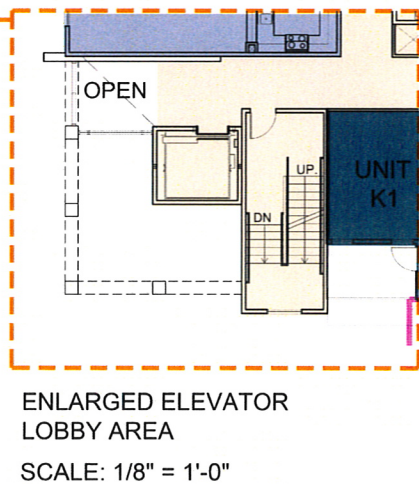
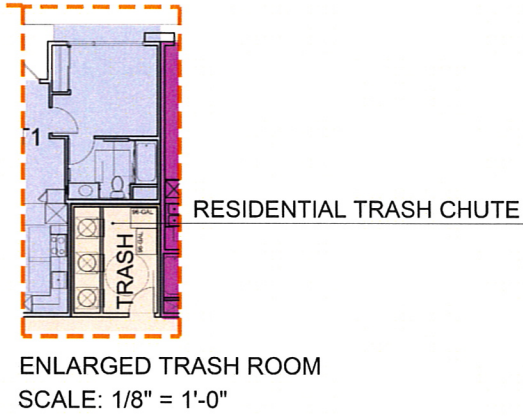
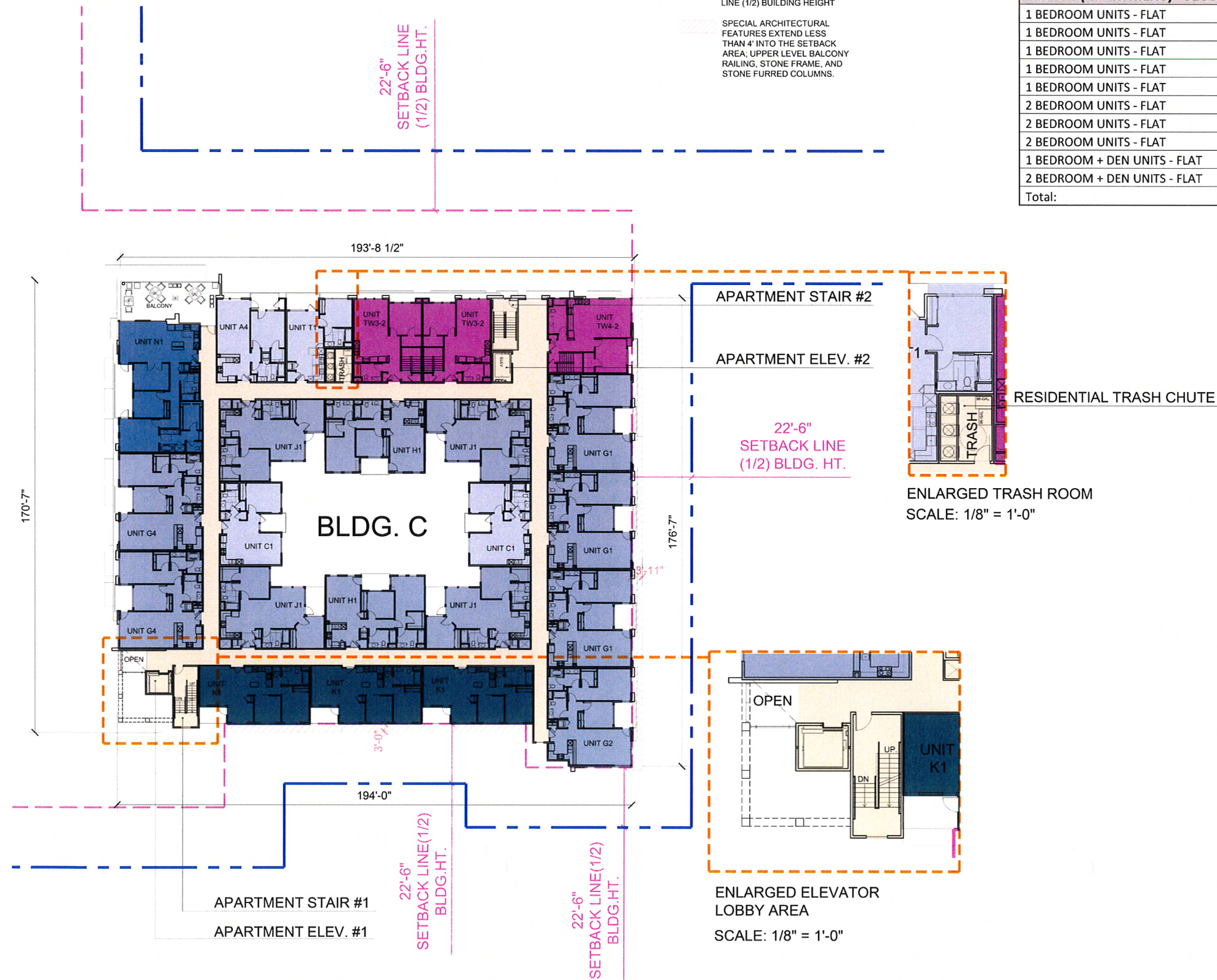
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A.35

FLOOR PLAN LEGEND

- EXISTING PROPERTY LINE
- - - 35' SETBACK FROM EDGE OF CURB AND 22'-6" SETBACK LINE (1/2) BUILDING HEIGHT
- Special Architectural Features Extend Less Than 4' Into the Setback Area; Upper Level Balcony Railing, Stone Frame, and Stone Furred Columns.

RESIDENTIAL UNIT PER FLOOR				
BLDG. C (APARTMENT) - SECOND LEVEL	Bed/BA	SQ.FT.	# OF UNITS	TOTAL SQ.FT.
1 BEDROOM UNITS - FLAT	UNIT A4	782	1	782
1 BEDROOM UNITS - FLAT	UNIT T1	616	1	616
1 BEDROOM UNITS - FLAT	UNIT C1	687	2	1374
1 BEDROOM UNITS - FLAT	UNIT G1	1102	3	3306
1 BEDROOM UNITS - FLAT	UNIT G2	1097	1	1097
2 BEDROOM UNITS - FLAT	UNIT G4	1126	2	2252
2 BEDROOM UNITS - FLAT	UNIT H1	991	2	1982
2 BEDROOM UNITS - FLAT	UNIT J1	1007	4	4028
1 BEDROOM + DEN UNITS - FLAT	UNIT K1	853	3	2559
2 BEDROOM + DEN UNITS - FLAT	UNIT N1	1456	1	1456
Total:			20	19452



- KEY LEGEND**
- █ LIVE/LIVE UPPER FLOOR
 - █ 2-BEDROOM + DEN FLAT
 - █ 2-BEDROOM FLAT
 - █ 1-BEDROOM + DEN FLAT
 - █ 1-BEDROOM FLAT
 - █ CIRCULATION / SUPPORT

BUILDING C
SECOND LEVEL
SCALE: 1/16" = 1'-0"

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MARINA PLAZA

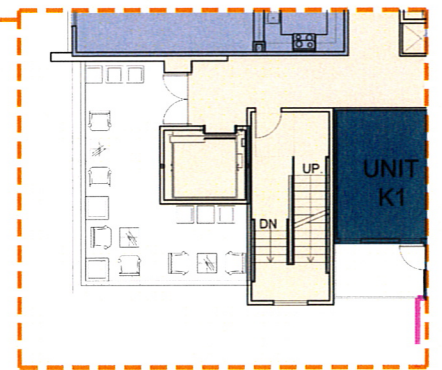
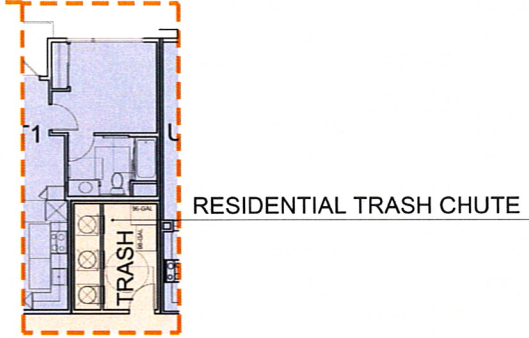
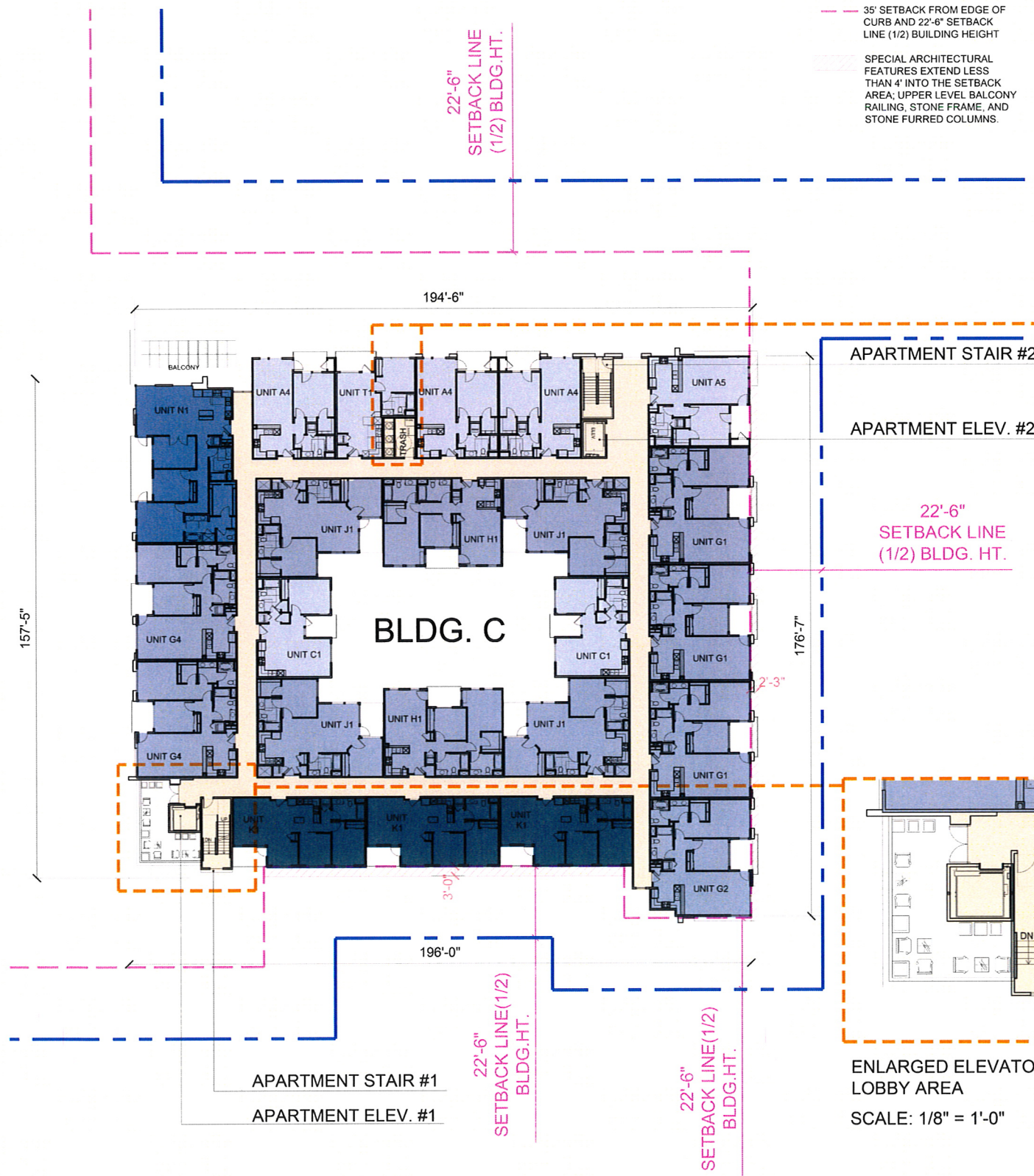
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De Anza Venture, LLC



RESIDENTIAL UNIT PER FLOOR				
BLDG. C (APARTMENT) - THIRD LEVEL	Bed/BA	SQ.FT.	# OF UNITS	TOTAL SQ.FT.
1 BEDROOM UNITS - FLAT	UNIT A4	782	3	2346
1 BEDROOM UNITS - FLAT	UNIT A5	848	1	848
1 BEDROOM UNITS - FLAT	UNIT C1	687	2	1374
1 BEDROOM UNITS - FLAT	UNIT T1	616	1	616
2 BEDROOM UNITS - FLAT	UNIT G1	1102	3	3306
2 BEDROOM UNITS - FLAT	UNIT G2	1097	1	1097
2 BEDROOM UNITS - FLAT	UNIT G4	1126	2	2252
2 BEDROOM UNITS - FLAT	UNIT H1	991	2	1982
2 BEDROOM UNITS - FLAT	UNIT J1	1007	4	4028
1 BEDROOM + DEN UNITS - FLAT	UNIT K1	853	3	2559
2 BEDROOM + DEN UNITS - FLAT	UNIT N1	1456	1	1456
Total:			23	21864

FLOOR PLAN LEGEND

- - - EXISTING PROPERTY LINE
- - - 35' SETBACK FROM EDGE OF CURB AND 22'-6" SETBACK LINE (1/2) BUILDING HEIGHT
- Special Architectural Features Extend Less Than 4' Into the Setback Area; Upper Level Balcony Railing, Stone Frame, and Stone Furred Columns.



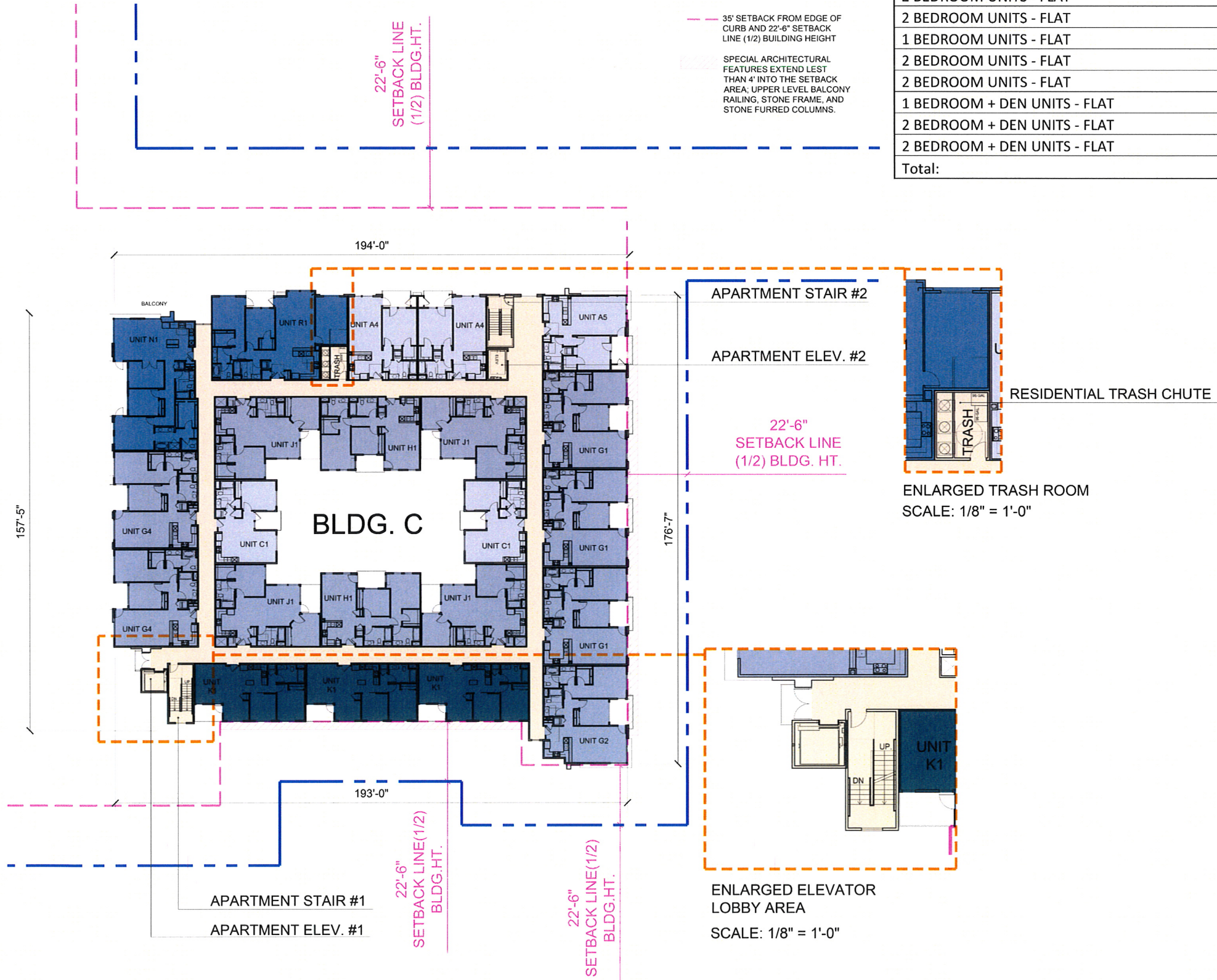
- KEY LEGEND**
- 2-BEDROOM + DEN FLAT
 - 2-BEDROOM FLAT
 - 1-BEDROOM + DEN FLAT
 - 1-BEDROOM FLAT
 - CIRCULATION / SUPPORT

BUILDING C
THIRD LEVEL
SCALE: 1/16" = 1'-0"

RESIDENTIAL UNIT PER FLOOR				
BLDG. C (APARTMENT) - FOURTH LEVEL	Bed/BA	SQ.FT.	# OF UNITS	TOTAL SQ.FT.
1 BEDROOM UNITS - FLAT	UNIT A4	782	2	1564
1 BEDROOM UNITS - FLAT	UNIT A5	848	1	848
1 BEDROOM UNITS - FLAT	UNIT C1	687	2	1374
2 BEDROOM UNITS - FLAT	UNIT G1	1102	3	3306
2 BEDROOM UNITS - FLAT	UNIT G2	1097	1	1097
1 BEDROOM UNITS - FLAT	UNIT G4	1126	2	2252
2 BEDROOM UNITS - FLAT	UNIT H1	991	2	1982
2 BEDROOM UNITS - FLAT	UNIT J1	1007	4	4028
1 BEDROOM + DEN UNITS - FLAT	UNIT K1	853	3	2559
2 BEDROOM + DEN UNITS - FLAT	UNIT N1	1456	1	1456
2 BEDROOM + DEN UNITS - FLAT	UNIT R1	1475	1	1475
Total:			22	21941

FLOOR PLAN LEGEND

- BACK OF STREET CURB
- - - EXISTING PROPERTY LINE
- - - 35' SETBACK FROM EDGE OF CURB AND 22'-6" SETBACK LINE (1/2) BUILDING HEIGHT
- SPECIAL ARCHITECTURAL FEATURES EXTEND LEST THAN 4' INTO THE SETBACK AREA; UPPER LEVEL BALCONY RAILING, STONE FRAME, AND STONE FURRED COLUMNS.



- KEY LEGEND**
- 2-BEDROOM + DEN FLAT
 - 2-BEDROOM FLAT
 - 1-BEDROOM + DEN FLAT
 - 1-BEDROOM FLAT
 - CIRCULATION / SUPPORT

BUILDING C
FOURTH LEVEL
SCALE: 1/16" = 1'-0"

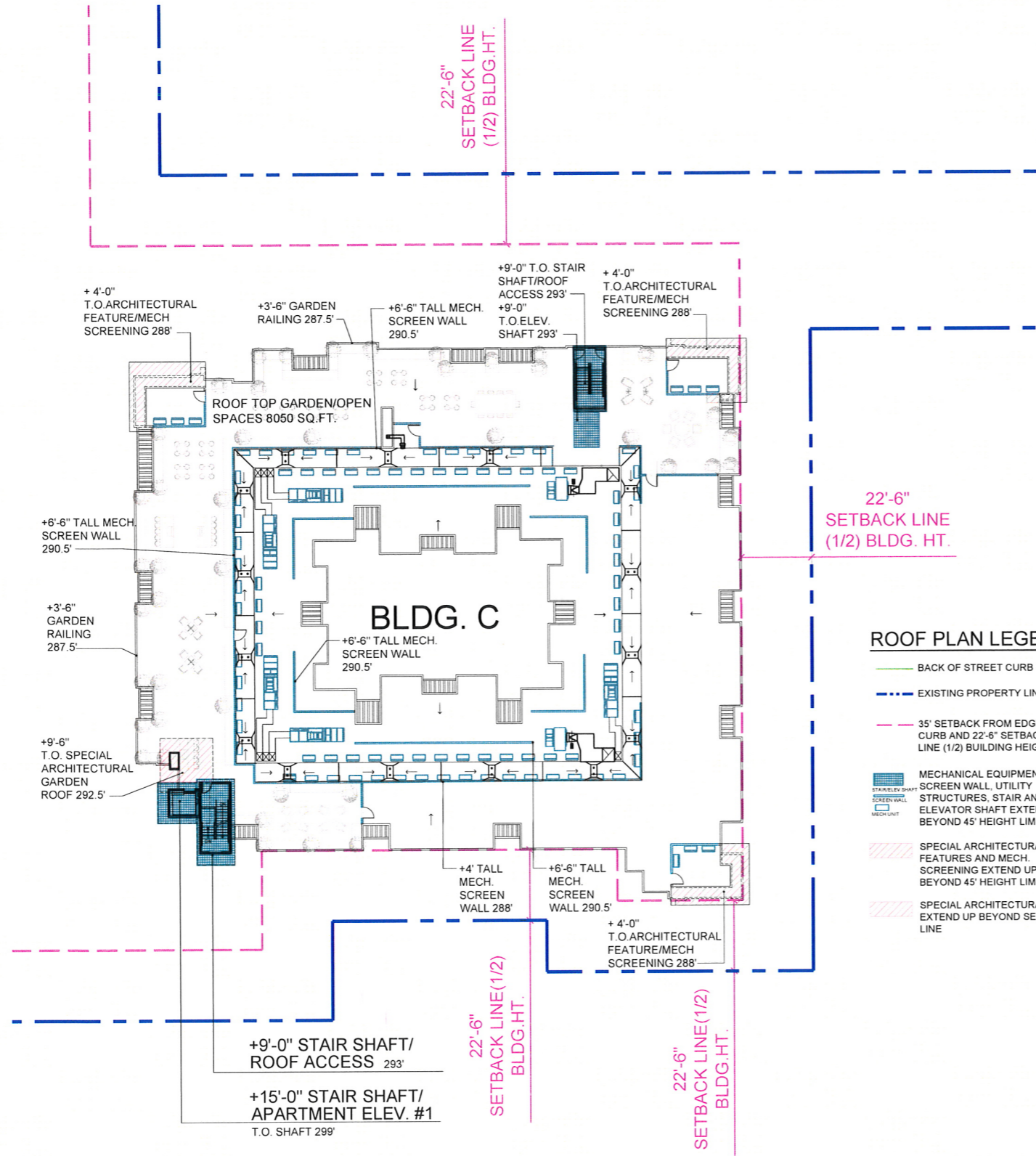
JOB NO. 1250.001
DATE 04-21-16

DAHLIN GROUP
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925-251-7200




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MARINA PLAZA

10145 DE ANZA BLVD. AND 10122 BANDLEY DR. CUPERTINO, CALIFORNIA
De Anza Venture, LLC




ROOF PLAN LEGEND

- BACK OF STREET CURB
- - - EXISTING PROPERTY LINE
- - - 35' SETBACK FROM EDGE OF CURB AND 22'-6" SETBACK LINE (1/2) BUILDING HEIGHT
-  MECHANICAL EQUIPMENT, SCREEN WALL, UTILITY STRUCTURES, STAIR AND ELEVATOR SHAFT EXTEND UP BEYOND 45' HEIGHT LIMIT
-  SPECIAL ARCHITECTURAL FEATURES AND MECH. SCREENING EXTEND UP BEYOND 45' HEIGHT LIMIT
-  SPECIAL ARCHITECTURAL EXTEND UP BEYOND SETBACK LINE

BUILDING C
 ROOF LEVEL
 SCALE: 1/16" = 1'-0"

MARINA PLAZA

10145 DE ANZA BLVD. AND 10122 BANDLEY DR. CUPERTINO, CALIFORNIA
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